

Sunbury

Works

Burial Ground

Shire Court

16/00893/FUL
Page Works, Forge Lane,
Sunbury-on-Thames, TW16 6EQ



1:1,250

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Planning Committee

27 July 2016



Application Nos.	16/00893/FUL		
Site Address	Page Works, Forge Lane, Sunbury on Thames, TW16 6EQ		
Proposal	Redevelopment of the site to provide 33 residential units, 3 x 1 bed flats, 4x 2 bed flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses with a total number of 63 car parking spaces, the provision of amenity space, landscaping and associated alterations		
Applicant	Fairview Homes Ltd.		
Ward	Halliford and Sunbury West		
Call in details			
Application Dates	Valid: 31.05.2016	Expiry: 30.08.2016	Target: Under 13 weeks
Officer	Janet Ferguson and Matthew Clapham		
Executive Summary	<p>This application for a redevelopment of the existing commercial site into 33 residential units is acceptable in principle. The site is partly within and also adjoins the Lower Sunbury Conservation Area and an Area of High Archaeological Potential.</p> <p>It is considered that the design of the proposal is acceptable within the street scene and surrounding area and preserves and enhances the character and appearance of the Conservation Area. The proposal would not have a detrimental impact on the amenity of the residential properties in terms of loss of light, privacy or outlook and in this respect the application is acceptable. The proposal is also acceptable in terms of flooding, contamination, renewable energy and air quality. In terms of transportation matters, Surrey County Council are satisfied with the proposals including the parking provision, subject to conditions. The Lead Local Flood Authority at Surrey County Council is satisfied with the drainage elements of the proposal subject to a suitable condition ensuring access to the existing Thames Water drainage system. The Councils Arboricultural Advisor is satisfied that the protected Oak Tree located to the rear of 77 Green Street will be safeguarded. The proposal for 9 'affordable' dwellings is considered appropriate having regard to the submitted viability evidence.</p>		
Recommended Decision	This application is recommended for approval subject to the completion of a s106 Legal Agreement to ensure that the proposed affordable housing is provided.		

MAIN REPORT

1. Development Plan

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

SP1 (Location of Development)

LO1 (Flooding Implications of Development)

SP2 (Housing Provision)

HO1 (Providing for New Housing development)

HO3 (Affordable Housing)

HO4 (Housing Size and Type)

HO5 (Density of Housing Development)

SP5 (Meeting Community Needs)

CO2 (Provision of Open space for New Development)

SP6 (Maintaining and Improving the Environment)

EN1 (Design of New Development)

EN3 (Air Quality)

EN5 (Buildings of Architectural and Historic Interest)

EN6 (Conservation Areas, Historic Landscapes, Parks and Gardens)

EN7 (Tree Protection)

EN15 (Development on Land Affected by Contamination)

SP7 (Climate Change and Transport)

CC1 (Renewable Energy, Energy Conservation and Sustainable Construction)

CC3 (Parking Provision)

'Saved' Local Plan (2001) Policy BE25.- Archaeology, Ancient Monuments and Historic Landscapes

2. Relevant Planning History

2.1 The original industrial building was approved under a planning approval in 1955. The more relevant and recent applications are set out below:

15/01599/FUL	Redevelopment of the site to provide 33 residential units, 3 x 1 bed flats, 4x 2 bed flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses with a total number of 63	Refused 8.03.2016
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car parking spaces, the provision of amenity space, landscaping and associated alterations

13/01380/TPO

TPO245 - T1 - Oak - Raise crown to give a clearance of up to 4m from ground level and thin crown by 25%.

Grant TPO Consent
28.10.2013

3. Description of Current Proposal

- 3.1 The application site relates to an area of land measuring approximately 0.8 hectares that is located on the northern side of Forge Lane and to the west of Green Street in Sunbury on Thames. The site includes several commercial buildings including a large 2 storey structure and areas of hard-standing /car parking that were previously used by Page Aerospace to manufacture aircraft parts. The buildings amount to 4570m² of industrial and ancillary office space. The site is currently vacant; it is understood that the business operation ceased in December 2014, and that the company has since moved to premises located overseas.
- 3.2 A small part of the existing car parking area of the site fronting onto Green Street lies within the Lower Sunbury Conservation Area and is also in an Area of High Archaeological Importance. The remainder of the site is not affected by any other designations except for an Oak Tree in the centre of the site (to the rear of no. 77 Green Street) which is the subject of a Tree Preservation Order.
- 3.3 The surrounding area is predominantly residential in character with some commercial units located at ground level of the properties that face onto Green Street. To the west of the site is a cemetery which is on land that is designated as Green Belt.
- 3.4 This is a full planning application, by Fairview Homes concerned with redeveloping the site to provide a total of 33 private dwellings together with 63 car parking spaces. The mix of the residential units is: 3 x 1 bedroom flats, 4 x 2 bedroom flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses. The 7 flats and 2 of the two bedroom dwellings comprise the 9 'affordable' units. The affordable units comprise 5 rented and 4 shared ownership.
- 3.5 To the front of the site facing onto Forge Lane are 8 terraced properties that are divided by a central access road into the site. All of these frontage dwellings will have accommodation over three floors, although the top floor is provided in the roof space served by front dormer windows and the installation of rear roof lights. Within the site are 2 rows of 2 storey properties in a linear form either side of the access road. On the eastern side of the access road are three pairs of semi-detached dwellings and 2 detached dwellings which are located in front of the TPO Oak tree. On the western side of the access road are three sets of 2 storey terraced

properties, all of which contain 2 bedrooms. At the north of the site adjacent to the School Walk footpath is a 2 storey building containing 7 flats with 1 and 2 bedrooms.

- 3.6 Access to the site will be from Forge Lane and will extend within the site to the rear in a hammerhead. Allocated parking will be provided to each dwelling and 11 spaces would be provided for the 'flatted' development. Existing trees located to the north of the site are to be retained together with the TPO Oak tree and some additional indicative planting is proposed in the front gardens, alongside the access road and the car parking area located on the corner of Green Street and Forge Lane.
- 3.7 The elevations of the houses incorporate a traditional design and materials and include flat roof dormer windows on the Forge Lane frontage and gable front features in the design of the semi-detached dwellings. Whilst material samples have not been submitted at this stage (details would be subject to a planning condition), the applicants have indicated that the dwellings would use yellow stock brickwork and grey tiles.
- 3.8 A Transport Assessment, A Travel Plan, A Contamination Report, Foul sewerage and Utilities assessment, An Archaeology Assessment; Heritage Assessment, Energy Statement, Air Quality Assessment, Noise Assessment, Flood Risk Assessment and a Planning & Design Statement have been submitted with the application.
- 3.9 The relevant local planning policies for the development of the site and the issues the proposal raises are set out in the Core Strategy and Policies Development Plan Document (CS&P DPD) which was adopted by the Council in February 2009, the Allocations DPD adopted in December 2009 and in six 'saved' policies in the Spelthorne Borough Local Plan. Additionally, the Council's adopted Supplementary Planning Documents (SPDs); Design of Residential Extensions and New Residential Development SPD, April 2011 and Housing Size and Type SPD, July 2012 are also relevant. The National Planning Policy Framework (NPPF), March 2012 and National Planning Policy Guidance (NPPG) 2014 are also applicable to this application.
- 3.10 The layout is identical to that submitted under the previous planning application, 15/01599/FUL but was refused on 8.3.2016 due to no 'affordable' housing being provided. The full reason for refusal is outlined in paragraph 7.8 below.
- 3.11 Copies of the site layout and proposed elevations are provided as an Appendix.

4. Consultations

- 4.1 The following table shows those bodies consulted and their response.

Consultee	Comment
Surrey County Council Heritage Conservation – Archaeology	No objections, subject to a condition securing a programme of Archaeological Evaluation.

Natural England	No objections.
County Highway Authority	No response to date – previously raised no objections to 15/01599/FUL – requested conditions regarding improvements in public transport waiting facilities, construction transport management plan, travel plan, cycle parking, parking spaces and access.
Thames Water	No objections in terms of sewerage infrastructure capacity or water infrastructure capacity. Recommended informative and use of oil interceptors in parking areas. Advised that approval needed to connect to public sewer.
Surrey Police – Crime Prevention Design Advisor	No objections.
Surrey County Council (Lead Local Flood Authority)	No objections subject to conditions
Environmental Health (Contamination)	No objection, subject to the imposition of standard contamination conditions and informative.
Environmental Health (Air Quality)	No response to date – previously raised no objection to 15/01599/FUL subject to mitigation for demolition / construction work and condition to secure the installation of trickle charging points.
Environmental Health (Noise)	No objection, subject to conditions.
Councils Sustainability Officer	No objections – satisfied that renewable requirement will be met.
National Grid – Electricity	No response to date – previously for 15/01599 Identified that it has apparatus in the vicinity of the site which may be affected by the activities specified. Requested that National Grid is notified of the likely decision.
Surrey Fire and Rescue Service	No response to date.
Surrey Wildlife Trust	No response to date – previously for 15/01599/FUL requested that applicant undertake the Mitigation and Enhancement Actions as detailed in sections 5 and 6 of the Ecological Report.
Council's Countryside and Commons Officer.	No objection, subject to conditions to secure ecological recommendations.
Council's Arboricultural Advisor	No objections.

Street Scene	No response to date – previously for 15/01599/FUL raised no objection, following submission of further details and swept path analysis on accessibility.
Lower Sunbury Residents Association	No objection.
Spelthorne Borough Council Group Head (Community and Wellbeing)	No objections to proposed mix of affordable housing.
Heritage Advisor	No objections.
Viability Advisor	The affordable housing offer is acceptable.

5. Public Consultation

99 neighbouring properties were notified of the planning application. To date, two letters of objection have been received raising the following concerns:

- a private right of way exists through the application site from an adjoining Dwelling located to the north of the site;
- proximity of the development to an adjoining property
- loss of privacy and reduction in natural light to no. 59 Green Street.

One letter of support has also been received encouraging the provision of affordable housing.

6. Planning Issues

- Principle of Development / Loss of Industrial Floorspace
- Housing Mix / Size of Units
- Affordable Housing
- Design, Townscape and Impact upon the Conservation Area
- Density
- Layout and Residential Amenity
- Amenity Space
- Open Space
- Trees and Landscaping
- Transportation
- Air Quality, Noise and Contaminated Land
- Renewable Energy
- Archaeology
- Flooding and Drainage
- Ecology and Landscaping

7. Planning Considerations

Principle of Development / Loss of Industrial Floorspace

- 7.1 The relevant policies for housing are contained in the NPPF 2012 and policies SP2, HO1, HO2, HO3, HO4 and HO5 of the CS&P DPD. The principle of housing on this site, accords with policy HO1 c) which encourages housing development, taking into account other policy considerations. In addition, Policy HO1 e) encourages the redevelopment for housing of poorly located employment land provided the site is suitable for housing. Therefore, providing all other policy objectives are met, the development of the site for housing purposes is generally considered as acceptable in principle.

Housing Mix / Size of Units

- 7.2 The relevant policies for housing size and type are contained in the NPPF, March 2012, policy HO4 of the CS&P DPD and Housing Size and Type SPD, July 2012. Policy HO4 states that the Council will ensure that the size and type of housing reflects the needs of the community by:

"requiring developments that propose four or more dwellings to include at least 80% of their total as one or two bedroom units, and encouraging the provision of housing to meet the needs of older people"

- 7.3 The Council's SPD on Housing Size and Type seeks to explain in more detail the Council's requirements for securing the right size and type of dwellings in new residential developments and conversions. This advice recognises that town centre residential schemes will usually be at a higher density in the form of flats whereas larger units providing family accommodation will usually be more appropriate in non-town centre locations, although the majority should still have one and two bedrooms. The advice acknowledges that in non-town centre sites there are a number of factors to be taken into account in deciding on the appropriate dwelling mix. One such factor is that any development will need to reflect the character of the area in which it is situated. Where there is a predominance of larger dwellings a mix of less than 80% one and two bedroom dwellings may be appropriate although the majority should still have one and two bedrooms.
- 7.4 The scheme as a whole provides 54.6% of the overall units as 1 and 2 bedrooms which is the majority of the proposed number of units and as such conforms generally to the policy requirement.

The proposed housing provision is set out in the following table:

<u>Unit Type</u>	<u>Affordable</u>	<u>Private</u>	<u>Total</u>
1 bed	3	0	3
2 bed	6	9	15
3 bed	0	5	5
4 bed	0	10	10
Total	9	24	33

- 7.5 In making an assessment on this issue, it should also be noted that the lack of smaller units was not a reason for refusal in the previous scheme (15/01599/FUL). The Group Head for Community and Wellbeing, have been consulted on the application and is satisfied with the proposed mix. It is considered that having regard to the character of the surrounding area, the provision of 54.6% as small dwellings has appropriately balanced the general need for these dwellings and would comply with the requirements to achieve a mix of family housing. This would meet the Borough's housing needs and conform to policy HO4 and the SPD on 'Housing Type and Mix'

Affordable Housing

- 7.6 Policies SP2 and HO3 of the CS&P DPD require affordable housing to be provided on sites of 0.5 Ha and up to 50% of the units depending upon the viability. This is supported by guidance contained in paragraph 50 of the NPPF.
- 7.7 The tenure split should be up to 35% shared ownership and 65% rented. The application site falls within the size threshold. The Council's SPD on Housing Size and Type referred to above identifies a greater need for small affordable family dwellings.
- 7.8 The previous application, 15/01599/FUL, was refused on the 19.02.2016 for the following reason:

'The proposal as outlined in the application as submitted would not include any affordable housing provision that would be required to contribute towards meeting the needs of the Borough. This is despite detailed discussions taking place with the applicants on financial viability where no agreement has been reached on the Benchmark Land Value of the site and the predicted construction costs, and as such, the submission has not been formally amended. Taking this into account, the applicants have failed to adequately demonstrate and justify why affordable housing cannot be achieved on this site. For the above reasons, it is considered that the proposed development would therefore be contrary to Policies SP2 and HO3 of the Core Strategy and Policies DPD 2009'.

- 7.9 The applicant now proposes 9 units of affordable housing, which amounts to 27% of the total provision of housing in the scheme. The affordable housing comprises 5 units to be offered for affordable rent and 4 units as shared ownership. The size of the units would be 5 no. 2 bed/4 person units; 1 no. 2 bed/3 person units and 3 no. 1 bed/2 person units. I am satisfied that having regard to viability advice and evidence and government guidance 9 affordable units in the form proposed is a reasonable provision. The mix of affordable units is also supported by the Group Head for Community and Wellbeing.

Design, Townscape and Impact on Conservation Area

- 7.10 The need to provide a high quality of design and layout in new developments is reflected in environment policy EN1 contained in the CS&P DPD. In addition, the Council's Supplementary Planning Document (SPD) on the "Design of Residential Extensions and New Residential Development" was adopted by the Council in April 2011. It provides guidance on a range of ways to improve the quality and layout of residential development including distances between dwellings and amenity space standards.
- 7.11 In accordance with policy EN1 of the CS&P DPD, new development is required to adopt a high standard in the design and layout of new development. In particular, section a) of the policy requires a new development to demonstrate that it will:
- "create buildings and places that are attractive with their own distinct identity; they should respect and make a positive contribution to the street scene and the character of the area in which they are situated."
- 7.12 The proposed development has been specifically designed to create a strong street frontage facing Forge Lane and follows a set-back building line which is in keeping with the building located at no. 57 Green Street. In addition, the footprint of the buildings has been sensitively designed and setback to have regard to the locally listed entrance feature and allows the continued use and pedestrian access to the adjacent cemetery.
- 7.13 The proposed buildings are of a good quality with thought given to detailing to ensure a high standard of development is provided. The development relates well to the existing established residential neighbourhood, but also has its own distinct identity. The Heritage Statement submitted by the applicant states that:
- 'the new buildings have been informed by a proportionate understanding of the significance of the conservation area and are of high-quality that interprets the character and appearance of the conservation area's traditional building stock in an appropriate contemporary manner. In this regard the application proposals take the opportunity to better reveal the significance of the Lower Sunbury Conservation Area'.
- 7.14 The Council's Heritage Advisor has considered the proposed development and has raised no objection in principle to the scheme and is in agreement that the submission would meet the objectives of the Planning (Listed Buildings and Conservation Areas) Act 1990 which, under s72, requires special attention to be paid to preserving or enhancing the character or appearance of a Conservation Area. The Heritage Advisor is also satisfied that the requirements in the NPPF and adopted policy EN6 would be met. In addition, further comments refer to the simple spine road approach and recognises the advantage of producing front garden spaces and rear gardens which back onto established development that produce decent separation distances.

- 7.15 Other material accompanying the application states that the 'proposals have adopted a traditional architectural style with pitched roofs and gables to ensure that it responds sensitively to the local built environment'. In design and townscape terms, the 2 storey height (with rooms in the roof) along the street frontage is in character with the surroundings, where similar form of buildings are located in Forge Lane and some properties in Green Street have 3 storeys. The 2 storey form of development within the site is also similar to the overriding pattern of residential properties located within the local area. The pavilion building to the north has a greater mass and scale, but given the existence of 3 storey properties at nos. 89-95 Green Street and the space around the building including neighbouring gardens, the scale of the building is not considered to be out of context with the surroundings.
- 7.16 As far as the detailed design of the buildings and the use of materials in the construction are concerned, the proposal is considered to be of a satisfactory quality and appearance that would fit in with the mixture of building styles in the locality. Suitable planning conditions have been recommended requiring the submission of samples of the construction materials and the removal of 'permitted development' rights. In view of the proposed buildings being visible from the Conservation Area, the introduction of a good quality brick wall on the Green Street frontage will be required when considering the discharge of the materials condition.
- 7.17 Previous comments from the Surrey Crime Reduction and Crime Prevention Design Advisor were considered by the applicants who have included an additional window to serve plot 5 to provide some natural surveillance across the main entrance. The applicants have also agreed to a trellis to be added to the proposed rear boundary fence adjacent to the Admiral Hawk public house. This may be considered as part of the boundary treatment condition.

Density

- 7.18 The NPPF refers in section 6 to "delivering a wide choice of high quality homes" which requires LPAs to "set out their own approach to housing density to reflect local circumstances". In addition, adopted policy HO5 of the CS&P DPD states that:
- "In considering proposals for new residential development, other than conversions of existing buildings, the Council will take account of the following density guidelines together with the requirements of Policy EN1 on design of new development. Within existing residential areas that are characterised by predominantly family housing rather than flats, new development should generally be in the range of 35 to 55 dwellings per hectare."
- 7.19 Based on a site area of 0.8 hectares, the proposal has a gross density of approximately 41 dwellings per hectare (dph) which would comply with the Council's density requirement and would be consistent in the context of the character of the surrounding residential area.

Layout and Residential Amenity

- 7.20 The layout of the proposed development is assessed by having regard to a number of factors including the internal floor space, the size of each garden, the distance from the back of new properties to the rear boundaries for each dwelling and the building height and massing. All of the proposed units, including the flats to the north of the site would accord with the minimum room sizes as set out in the national technical housing standards and the standards provided in the Council's SPD on the "Design of Residential Extensions and New Residential Development". This SPD also includes minimum separation distances for two and three storey residential development. For two storey development the back to back distance is 21m and the back to boundary distance is 10.5m, for three storey development the distances are 30m and 15m respectively. The back to side minimum distances for 2 storey dwellings is 13.5 metres and 21 metres for 3 storey development. The majority of the proposed dwellings are two storeys; but the street frontage properties are two storey, however there is accommodation within the roofspace with front facing dormers and rear sky lights which results in a higher building than a traditional two storey dwelling.
- 7.21 The proposed layout has been designed to have regard to the above standards and specific separation distances in order to comply with policy EN1 and the SPD. The closest neighbouring property to the frontage properties are nos. 57 and 59 Green Street which are located 17.6 metres away from the flank elevation of the most eastern terrace of 4 dwellings, although it is understood that the closest parts of these properties are single storey. The separation of 17.6 metres, which is 4.1m higher than the guidance in the SPD, would represent a satisfactory distance between the flank wall of the development and the single storey elements of nos. 57 and 59 Green Street. Similarly, the relationship between the setback terraced properties facing Forge Lane and nos. 5 and 6 The Vineyards and nos. 1-7 Anvil Road are over 35 metres between the buildings which greatly exceeds the Council standards.
- 7.22 To the north of the site are nos. 3, 5 and 7 School Walk which are all over 18 metres away from the linear form of the dwellings within the site, compared with the minimum requirement of 13.5 metres. It is accepted that part of the flatted building would project by approximately 7.5 metres to the rear of no.3 School Walk. However, this element would be set in from the boundary by 8 metres and the distance involved and the relationship between buildings is such that there would be no infringement of the 45 degree guideline.
- 7.23 The commercial units located at nos. 89 to 97 Green Street have residential accommodation above at the first and second floors, which appear to be accessed to the rear. The separation distance between these properties and the flatted development is 19.9 metres at its closest point which would comply with the 13.5 distance stipulated in the SPD. As a result it is considered that there would be an acceptable impact upon the amenities of the occupiers of this upper floor living accommodation. As far as the neighbouring residential properties at nos. 75 and 77 Green Street are

concerned; there would be a separation distance of over 25 metres between buildings which is acceptable and would comply with the SPD.

- 7.24 An objection has been received stating that the new buildings would be located in a position that is viewed to be too close to the rear boundaries of adjoining properties, and that the structures would appear overbearing and lead to loss of privacy and natural light. However, given that the majority of the layout complies with the Council's SPD, it is not considered that this objection could be sustained.
- 7.25 Policy EN1 of the CS & P DPD states that new development should achieve a satisfactory relationship with adjoining properties avoiding significant harmful impact in terms of loss of privacy, daylight or sunlight, or overbearing effect due to bulk and proximity or outlook. The Council's Supplementary Planning Document for the Design of Residential Extensions also provides guidance on assessing impacts upon adjoining properties. The SPD on design refers to the 25 degree guide from the rear of adjoining properties and the 45 degree horizontal and vertical guides to aid in the assessment of potential impacts upon the residential amenity enjoyed by adjoining properties.
- 7.26 The occupier of no. 59 Green Street has raised specific concerns regarding potential loss of light to their property. The applicant has produced a Daylight, Sunlight and Overshadowing Report. This assessment has been carried out in accordance with the British Research Establishment (BRE) Guidelines; entitled the 'Principles of Daylight and Sunlight'. This specifically examines the potential impacts upon the most affected properties, namely no's 57 and 59 Green Street and 3 School Walk. The Report concludes that the proposed development would comply with these daylight, sunlight and overshadowing guidelines in respect of these nearest neighbouring residential properties.
- 7.27 The only infringement of the Council guidelines outlined in the Design SPD is the 25 degree angle taken from the rear of no. 59 Green Street which is infringed by the flank elevation of the proposed plot 1. The BRE have published a Good Practice Guide for Site Layout Planning for Daylight and Sunlight which allows for further assessment of potential impacts where the standard 25 and 45 angles are infringed. The Daylight, Sunlight and Overshadowing Report confirms that the amount of daylight and sunlight reaching both the rear window and the garden area of no. 59 Green Street does meet the requirements outlined in the BRE Good Practice Guide.
- 7.28 All of the other neighbouring properties located adjacent to the site have not been subject to the same scrutiny / assessment under the BRE Guidelines as the proposed development would not subtend a 25 degree line drawn from their lowest windows. As a result the application is considered acceptable in day / sunlight terms, despite the objection that have been received in this regard by an neighbouring residential occupier.
- 7.29 In conclusion, the layout and design is acceptable in terms of separation distances and complies with Policy EN1 of the CS&P DPD.

Amenity Space

- 7.30 In terms of garden sizes, the Council's SPD provides minimum rear garden areas and amenity space standards for new dwellings. These are 70m² for a three or more bedroom semi-detached or detached dwelling and 60m² for a terraced or two bedroom semi-detached dwelling. All of the proposed dwellings accord with these standards. As far as flatted developments are concerned, there is a requirement of 35m² of amenity space per unit. As 7 units are proposed in the northern pavilion building, there would be a requirement for 245m² of amenity space to be provided which is easily met as approximately 275m² is provided in an rectangular amenity area fronting School Walk. As a consequence, the proposed development would provide adequate amenity space and would therefore comply with policy EN1, the SPD on Design and the NPPF.

Open Space

- 7.31 Policy CO3 of the CS&P DPD states that in new housing developments of 30 or more family dwellings the Council will require a minimum of 0.1ha of open space to provide for a children's play area. Such provision is to be increased proportionally according to the size of the scheme. This application includes 30 family dwellings (defined as 2 bedrooms or more) and would technically attract a public open space requirement. However, given that the site and surrounding area has not been identified as being deficient in public open space and taking into account the close proximity of Sunbury Park, it is not considered necessary to insist upon the provision of public open space in this particular instance.

Trees and Landscaping

- 7.32 Policy EN7 sets out that where existing trees make an important contribution to the surroundings, that the Council will promote tree preservation orders wherever appropriate to safeguard healthy trees which have amenity value. In addition, section d) of EN1 requires a scheme to:

"incorporate landscaping to enhance the setting of the development, including the retention of any trees of amenity value and other significant landscape features that are of merit, and provide for suitable boundary treatment."

- 7.33 There are several existing trees located on the north- eastern boundary and a substantial Oak tree which is situated in the centre of the site (on the rear boundary with nos. 75 and 77 Green Street), which is subject to a Tree Preservation Order (TPO). The impact of the proposal on the existing trees is an integral part of assessing the detailed design and layout of the scheme which has been considered by the Council's Arboricultural Advisor. The only issue of concern on tree grounds was the detail of the proposed replacement tree planter which has since been revised to a design that is now acceptable to the Councils' Arboricultural Advisor.
- 7.34 It is accepted that proposed dwelling nos. 30 and 31 would experience some shading and loss of light to these rear gardens and could lead to

future pressure to carry out work to the protected Oak tree. However, the Arboricultural report accompanying the submission has indicated that some of the lower branches of the TPO would be trimmed to allow light to pass through to the garden below. In addition, as the first section of the rear gardens would remain outside of the crown spread and as any future purchasers would be aware of this layout, it is not considered that a refusal on tree grounds could be sustained.

- 7.35 The application would also provide an opportunity for new tree planting along the street frontage, on the Green Street corner and on the boundaries of the site. It is anticipated that the redevelopment would include a diverse range of age, size and particular type of species that would enhance the appearance of the Lower Sunbury Conservation Area. A condition has been imposed requiring full details of hard and soft landscaping to be submitted and approved by the Council.

Transportation

- 7.36 Central Government's advice on transportation is set out in the NPPF, but there is emphasis on the promotion of sustainable transport. Also relevant is the PPG which provides guidance on travel plans, transport assessments and statements in decision-taking.
- 7.37 Policy CC2 of the CS&P DPD aims to ensure that new development is compatible with the transport infrastructure in terms of total movements, capacity of the local transport network, cumulative impact, access / egress from the site and highway safety. Major developments need to ensure access by non-car modes and promote sustainable travel. This desire to be more sustainable is complimented by Policy CC3 on parking provision which seeks appropriate on site provision including for cycles.
- 7.38 In assessing the redevelopment scheme on highway grounds, it is relevant to take into account the previous commercial use of the site. Prior to becoming vacant in January 2014, it is understood that there was potential for a certain amount of traffic movements being generated by people employed at and visiting the premises. The previous use and associated activity has been considered, assessed and compared against the anticipated movements associated with the proposed 33 residential units. The Transport Statement submitted with the application has predicted that the existing permitted use has the potential to generate a total of 25 vehicular movements during the AM peak and 18 vehicular movements in the PM peak. The proposed use has a potential to generate 24-36 person movements in the AM and PM peaks of which 17-26 movements are likely to be vehicular. As a result of these predictions, it is considered that there would be a negligible change in the AM peak and a very minor reduction in the PM peak which would not have a noticeable impact on the local highway network. The application has also been accompanied with a Travel Plan which sets out short term and long term strategies for reducing dependence on travel by private car for those people that reside in the development. A further Framework Travel Plan has also been requested by a condition.

- 7.39 The application includes the retention of the existing access, the provision of 63 car parking spaces (for 33 units) and 1 cycle space per unit is also proposed as part of the scheme. In terms of the Council's minimum parking standards, there would be a requirement to provide 62.5 spaces and the proposed 63 on site car parking space would clearly comply with this standard and is acceptable.
- 7.40 The County Highway Authority (CHA) assessed the previous scheme (15/01599/FUL) and the associated transportation information and concluded that there would be no objection to the proposal on highway safety, capacity and policy grounds. The future traffic growth assumptions for the proposed development have been previously agreed by the CHA, who are satisfied about the impact of the development upon the area taking into account the traffic growth figures. A number of conditions have been recommended by the CHA, including the provision of shelters to existing bus stops located in Green Street which have been imposed in the recommendation.

Air Quality, Noise and Contaminated Land

- 7.41 The proposed development is within an Air Quality Management Area (AQ-MA). The NPPF seeks to ensure that the planning system should contribute and enhance the natural and local environment by a number of measures including:
- "preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of soil, air, water or noise pollution or land instability;"
- 7.42 Policy EN3 of the CS&P DPD states that the Council will seek to improve the air quality of the Borough and minimise harm from poor air quality by a number of measures. The policy states that any planning application for developments of 10 or more dwellings would require the submission of an Air Quality Assessment.
- 7.43 The applicants have submitted an Air Quality Assessment (AQA). The same Assessment was submitted and commented on by the Council Environmental Health Officer for the previous application. The Assessment considered the impact of the development during construction and post development. The Assessment has confirmed that the impact of the development would be 'insignificant', a view which is shared by the Council's Environmental Health Officer, although it is accepted that the recommended mitigation should conform to best practice standards for the demolition and construction work. In addition, Environmental Health would seek to ensure that the development should be 'air quality neutral' and should include the provision of trickle charging points which have been secured by condition.
- 7.44 With regards to noise, the relevant adopted policy is EN11 which seeks to minimise the adverse impact of noise upon residential occupiers. The applicant has provided an Acoustic Report that has essentially assessed the impact of existing noise effects upon the future occupiers of the

proposed development. The Acoustic Report concludes that appropriate mitigation in the form of enhanced glazing and varying acoustic ventilation can be provided for all habitable rooms to ensure that the noise levels experienced by future residents is at an acceptable standard. Such an approach is viewed to be acceptable and Environmental Health have raised no objection to the scheme, subject to the imposition of a number of planning conditions.

- 7.45 The Acoustic Report does state there could be the potential for noise levels to marginally be exceeded for some of the external amenity areas. However, Environmental Health have advised that any amenity space that might be affected can be specifically designed to achieve an acceptable noise standard, which is to be secured by condition.
- 7.46 In terms of contamination, a detailed contamination report accompanies the application which has been considered by the Council's Pollution Control section and the imposition of standard contamination conditions and informatives have been suggested.

Renewable Energy

- 7.47 Policy CC1 of the CS & P DPD supports the provision of renewable energy, energy conservation and sustainable construction by a number of measures including requiring residential development to provide at least 10% of the development's energy demand from on-site renewable energy sources. The applicant proposes solar thermal panels photovoltaic panels will be provided on the roofs of each dwelling. It is anticipated that there would be a 10.75% saving in energy use which would comply with policy CC1. Additionally, the Council's Sustainability Officer is satisfied with the proposal.

Archaeology

- 7.48 In terms of archaeology, a small part of the site on the Green a street corner is located within an Area of High Archaeological Importance. The applicants have produced a desk based archaeological assessment which has advised that the proposed development is unlikely to have any significant or widespread archaeological potential of the site. The County Archaeological Officer has been consulted on the submission and has raised no objection, subject to the imposition of standard archaeological planning conditions.

Flooding and Drainage

- 7.49 Whilst the comments of the Environment Agency are awaited, the site does not fall within an area liable to risk and it is not anticipated that there will be an objection on matters relating to flooding. Thames Water has responded to the consultation on the application and has raised no objection in terms of sewerage infrastructure capacity or water infrastructure capacity but have suggested the imposition of an informative.

- 7.50 Following the receipt of further information, Surrey County Council as Leading Flood Authority, are satisfied with the proposed drainage scheme and have recommended conditions for inclusion on any permission that may be issued.

Ecology

- 7.51 The applicants have submitted an ecological appraisal which has confirmed that there is a limited ecological diversity of habitats on the site and that the land overall is of low ecological value. As a result, there is no evidence to suggest that any ecological designations, habitats of nature conservation interest or protected or notable species would be significantly harmed by the proposed development. The ecological appraisal includes recommendations which makes provision for the installation of bat and Swift boxes, a sensitive lighting scheme, the removal of existing invasive plant species, the provision of hedgehog passes and native tree planting and nectar rich flowering plants, which are to be secured by a planning condition. The Council's Countryside and Commons Officer is in agreement with the imposition of such a condition.
- 7.52 Comments from the Surrey Wildlife Trust are awaited. They were consulted on the previous application and did not raised an objection and commented that the applicant should undertake the Mitigation and Enhancement Actions as detailed in the Ecological Report. These actions are to be secured by condition.

Other Matters

- 7.53 Following comments on the previous application from Streetscene, the applicant has retained the agreed refuse detail and the swept path tracking for entering the site from both the left and the right side and have no further comments in respect of waste collection.
- 7.54 An objection has been received concerning a Right of Way across the site. However, this is a private civil matter between the parties involved. There is no Public Right of Way across the site.

Conclusion

- 7.55 In policy terms, the loss of the existing commercial use and its replacement with new housing is acceptable in principle. The layout, density, amenity space and parking provision complies with the Council's standards and the proposal will have an acceptable impact on local residential properties. The proposal is acceptable in terms of archaeology, ecology, renewable energy and the impact on the Lower Sunbury Conservation Area. In terms of the noise issue, further information has been requested and it is considered that any significant matters may be satisfactorily addressed by condition. .
- 7.56 The previous application proposed no affordable Housing and the amount proposed in this scheme is 27%. The advice given by the Councils Viability Advisor is that it is considered to be acceptable in terms of affordable

housing being included as part of the redevelopment scheme. As a result, the submission is accordingly recommended for approval.

8. Recommendation

8.1 Subject to: The applicant first entering into an appropriate legal agreement in respect of the following:

1. To provide 9 affordable housing units on site built in accordance with current Housing Corporation Scheme Development Standards, the details of which shall be agreed with The Council's Assistant Head of Planning (Development Management).

- The split of the type of affordable housing shall be 5 units to be offered for affordable rent and 4 units as shared ownership.
- Prior to implementation the Registered Social Landlord (RSL) shall enter into a Nominations Agreement in respect of the affordable housing (in order that the social housing meets local needs).
- Build and complete the affordable units and hand over to the Registered Social Landlord for occupation before more than 50% of the open market units are sold or substantially completed, whichever is the sooner.

8.2 GRANT subject to the following conditions:-

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) Before the commencement of the construction of the development hereby approved full details of both soft and hard landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The trees and shrubs shall be planted on the site within a period of 12 months from the date on which development hereby permitted is first commenced, or such longer period as may be approved by the Local Planning Authority, and that the planting so provided shall be maintained as approved for a period of 5 years, such maintenance to include the replacement in the current or next planting season whichever is the sooner, of any trees or shrubs that may die, are removed or become seriously damaged or diseased, with others of similar size and species, unless the Local Planning Authority gives written permission to any variation.

Reason: To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development.

- 3) Before the commencement of the construction of the development hereby approved a plan shall be submitted to and approved in writing by the Local Planning Authority indicating the positions, design, materials and type of boundary treatment to be erected in accordance with a timetable agreed in writing with the Local Planning Authority. Development shall be carried out in accordance with the approved details and maintained as approved.

Reason: To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 4) Before the commencement of the construction of the development hereby approved details of the materials and detailing to be used for the external surfaces of the buildings and surface material for parking areas be submitted to and approved by the Local Planning Authority.

Reason: To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 5) That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the curtilage of the site for the storage of refuse and waste materials in accordance with details to be submitted to and approved by the Local Planning Authority before any work on the development hereby permitted is first commenced, and thereafter the approved facilities shall be maintained as approved.

Reason: To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009

- 6) Before the commencement of the construction of the development hereby approved details including a technical specification of all proposed external lighting shall be submitted to and approved in writing by the Local Planning Authority. The external lighting on the site shall at all times accord with the approved details.

Reason:- To safeguard the amenity of neighbouring residential properties and in the interest of security.

- 7) No new development shall be occupied until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for one trickle

charging point to be installed within 20% of the available parking spaces for the flats. The trickle charging point shall be retained exclusively for its designated purpose.

Reason:- The above condition is required in recognition of Section 4 (Promoting Sustainable Transport) of the NPPF

- 8) No demolition or building operations shall commence until a Demolition Method Statement detailing the proposed methodology for demolishing the existing structures and the mitigations measures to be implemented has been submitted to and approved in writing by the Local Planning Authority. The Demolition Method Statement shall include the submission of a Pre-Demolition Asbestos Survey. The agreed methodology and mitigation measures shall be implemented in accordance with the approved details.

Reason:- To safeguard the amenity of neighbouring properties.

- 9) The development shall be carried out in accordance with the dust management mitigation recommendations detailed in section 5.24 and Appendix 4 of the Air Quality Assessment produced by BWB Consultancy submitted 13 May 2015.

Reason: To protect local air quality within an air quality management area.

- 10) No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.

Reason: To safeguard any Archaeological assets.

- 11) No development shall take place until:-

(i) A comprehensive desk-top study, carried out to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site, has been submitted to and approved in writing by the Local Planning Authority.

(ii) Where any such potential sources and impacts have been identified, a site investigation has been carried out to fully characterise the nature and extent of any land and/or groundwater contamination and its implications. The site investigation shall not be commenced until the extent and methodology of the site investigation have been agreed in writing with the Local Planning Authority.

(iii) A written method statement for the remediation of land and/or groundwater contamination affecting the site shall be agreed in writing with the Local Planning Authority prior to the commencement of remediation. The method statement shall include an

implementation timetable and monitoring proposals, and a remediation verification methodology.

The site shall be remediated in accordance with the approved method statement, with no deviation from the statement without the express written agreement of the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances in accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at www.spelthorne.gov.uk.

- 12) Prior to the first use or occupation of the development, and on completion of the agreed contamination remediation works, a validation report that demonstrates the effectiveness of the remediation carried out shall be submitted to and agreed in writing by the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances in accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at www.spelthorne.gov.uk.

- 13) Before the commencement of the construction of the development hereby approved, details of how the Sustainable Drainage System will cater for system failure or exceedance events, both on and offsite, must be submitted to and approved by the local planning authority.

Reason: To ensure that the proposal has fully considered system failure

- 14) Prior to occupation, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority to demonstrate that the Sustainable Drainage System has been constructed as per the agreed scheme.

Reason: To ensure the Sustainable Drainage System has been constructed as agreed.

- 15) Before the commencement of the construction of the development hereby approved, details of how the Sustainable Drainage System will be protected and maintained during the construction of the development shall be submitted to and approved by the Local Planning Authority. The development shall thereafter be carried out in strict accordance with those approved details

Reason: To ensure that the construction works do not compromise the functioning of the agreed Sustainable Drainage System.

- 16) The development shall not be occupied until the two bus stops on both sides of Green Street closest to the development have been provided with shelter in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 17) The development hereby approved shall not be occupied unless and until the existing vehicular access to Forge Lane has been modified and provided with tactile paving in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 18) Before the commencement of the construction of the building hereby approved, details of how the Sustainable Drainage System shall be maintained and who shall own and maintain the drainage system, must be submitted to and approved by the local planning authority.

Reason: To ensure an acceptable Sustainable Drainage System and to comply with Policy LO1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document (2009) and the advice contained within the NPPF, NPPG and Non-Statutory Technical Standards for SuDS.

- 19) Notwithstanding the submitted plans the development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Each parking space shall measure 2.4 metres deep by 4.8 metres wide with 6 metres of aisle space. Thereafter the parking area shall be retained and maintained for its designated purpose

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 20) Notwithstanding the submitted plans the development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for a minimum of seven bicycles to be parked in a secure, covered, lit and accessible location. Thereafter the parking area shall be retained and maintained for its designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 21) No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (f) vehicle routing
 - (g) measures to prevent the deposit of materials on the highway
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 22) Notwithstanding the submitted travel plan prior to the commencement of the development a Framework Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, and Surrey County Council's "Travel Plans Good Practice Guide", And then the approved Travel Plan shall be implemented upon first occupation and for each and every subsequent occupation of the development, thereafter maintain and develop the Travel Plan to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 23) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order) no extensions or other form of enlargement to the residential development hereby permitted, nor erection of porches, outbuildings, hardstandings, storage tanks, gates, fences, walls or other means of enclosure, shall take place without the prior planning permission of the Local Planning Authority

Reason: To safeguard the appearance of the locality/amenity of neighbouring residential properties in accordance with policies SP6, EN1 and CC3 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 24) The development shall be carried out in accordance with the recommendations outlined in the submitted in the Energy Statement by Abbey Consultants (Southern) Ltd. Submitted 9 June 2016. The agreed measures shall be implemented with the construction of each building and thereafter retained and maintained to the satisfaction of the Local Planning Authority unless otherwise agreed in writing.

Reason:- To ensure that the development is sustainable and complies with Policy SP7 and CC1 of the Spelthorne Development Plan Core Strategy and Policies DPD.

- 25) That the development shall be carried out in accordance with the Mitigation and Enhancement actions as detailed in sections 5 and 6 of Aspect Ecology's Ecological Appraisal report dated November 2015

Reason:- To safeguard and protect important species using the site.

- 26). That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the

curtilage of the site for the storage of refuse and waste materials in accordance with the approved plans and thereafter be maintained.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 27) Prior to the occupation of the development hereby permitted the first and / or second floor side facing windows on Units 1, 4, 5 and 8 shall be obscure glazed and be non-opening to a minimum height of 1.7 metres above internal floor level in accordance with details/samples of the type of glazing pattern to be submitted to and approved in writing by the Local Planning Authority. These windows shall thereafter be permanently retained as installed.

Reason:- To safeguard the privacy of the adjoining property(ies), in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 28) That no further openings of any kind be formed in the flank elevations of the development hereby permitted without the prior written consent of the Local Planning Authority.

Reason:- To safeguard the amenity of neighbouring residential properties, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 29) The dwellings hereby permitted shall be designed to ensure that the following internal noise levels specified by BS 8233:2014 Guidance on Sound Insulation and Noise Reduction for Buildings are not exceeded due to environmental noise:

Bedrooms - 35dB LAeq T *, 30 dB LAeq T † , 45dB LAFmax T *

Living rooms- 35dB LAeq T †

Dining room - 40 dB LAeq T †

* - Night-time 8 hours between 23:00-07:00

† - Daytime 16 hours between 07:00-23:00.

Reason:- To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with Planning Policy Framework 2012.

- 30) The habitable rooms within the development sharing a party wall element shall be designed and constructed to provide reasonable resistance to the transmission of sound sufficient to ensure that the party wall meets a minimum of 5dB improvement on the Building Regulations standard set out in Approved Document E.

Reason:- To ensure that the occupiers and users of the proposed development do not suffer a loss of amenity by reason of noise nuisance and other excess noise from activities within the adjacent premises accordance with the National Planning Policy Framework 2012.

- 31) Private and communal external amenity areas shall be designed to attain 55dB(A) LAeq, 16hr † .
†Daytime - 16 hours between 07:00-23:00hrs.

Reason:- To ensure that the users of the proposed development do not suffer a loss of amenity by reason of excess environmental noise in accordance with the National Planning Policy Framework 2012.

- 32) No development shall take place, including any works of demolition, until a Construction Environmental Management Plan (CEMP) for the site has been submitted and approved by the Local Planning Authority. All of the demolition and construction work shall then be undertaken in strict accordance with this approved plan and relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason:- To ensure that neighbouring residential occupiers do not suffer a loss of amenity by reason of excess noise, nuisance and pollution from the construction work and activity taking place on the site when implementing the decision in accordance with policy EN1, EN11 and the National Planning Policy Framework 2012.

- 33) The development hereby approved shall be carried out in accordance with the following approved plans: P101 B; P101 AH; P102 D; P103B; P104 A; P105 B; P106 A; P110 H; P111 F; P112 F; P113 G; P114 AH; P114 F; P115 F; P116 H; P117 F; P118 F; C101 E; C102 E; S101 A; S102 A; S103 A; S104 AFNH418 LS/02 received 09.06.2016.

Reason:- For the avoidance of doubt and in the interest of proper planning.

INFORMATIVES

1. We would recommend that the developer is referred to our advice note and evidence document on our website (<http://new.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice/more-about-flooding/suds-planning-advice>) for further guidance.
2. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent

offenders. (Highways Act 1980 Sections 131, 148, 149).

3. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.
4. The developer would be expected to instruct an independent transportation data collection company to undertake the monitoring survey. This survey should conform to a TRICS Multi-Modal Survey format consistent with the UK Standard for Measuring Travel Plan Impacts as approved by the Highway Authority. To ensure that the survey represents typical travel patterns, the organisation taking ownership of the travel plan will need to agree to being surveyed only within a specified annual quarter period but with no further notice of the precise survey dates. The Developer would be expected to fund the survey validation and data entry costs.
5. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
6. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
7. The applicant's attention is drawn to the ACPO/Home Office Secured by Design (SBD) award scheme, details of which can be viewed at www.securedbydesign.com.
8. Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.

9. The applicant should ensure the existing system is in a suitable condition and it is operating correctly without increasing flood risk. We would recommend that the opportunity is taken during construction works to inspect existing soakaways and any required maintenance and repairs carried out to ensure that they are functioning to maximum expected efficiency.

If you have any further queries regarding our response please contact the Sustainable Drainage and Consenting Team via email SUDS@surreycc.gov.uk

10. The submission of the Construction Environmental Management Plan (CEMP) required under condition 32 shall oblige the applicant, developer and contractors to commit to current best practice with regard to site management and to use all best endeavours to minimise off site impacts. The CEMP should detail good construction practice for the development taking place on this site and should contain the following elements:

- A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
- Engineering measures to eliminate or mitigate identified environmental impacts e.g. acoustic screening, sound insulation, dust control, emission reduction, location of specific activities on site, etc.;
- Locations and methods of monitoring of noise and dust, action and trigger levels, management protocols when triggers reached, etc.
- Arrangements for direct responsive contact for nearby occupiers with the site management during demolition and/or construction (signage on hoardings, newsletters, resident's liaison meetings)
- A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme;
- To follow current best construction practice, including the following:-
 - S61 of Control of Pollution Act 1974,
 - The London Mayors Supplementary Planning Guidance 'The Control of Dust and Emissions During Construction and Demolition',
 - The Institute of Air Quality Management's 'Guidance on the Assessment of Dust from Demolition and Construction' and 'Guidance on Air Quality Monitoring in the Vicinity of Demolition and Construction Sites',
 - BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites',
 - BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from groundborne vibration,
 - BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting,
 - Relevant EURO emission standards to comply with Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 1999,
 - Relevant CIRIA practice notes, and

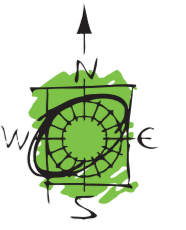
- BRE practice notes.
- Site traffic – Routing of in-bound and outbound site traffic, one way site traffic, lay off areas, etc.;
- Waste Management – Accurate waste identification, separation, storage, registered waste carriers for transportation and disposal to appropriate destinations.

A copy of the CEMP shall be kept on site at all times and all demolition and construction work shall then be undertaken in strict accordance with the approved plan and relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

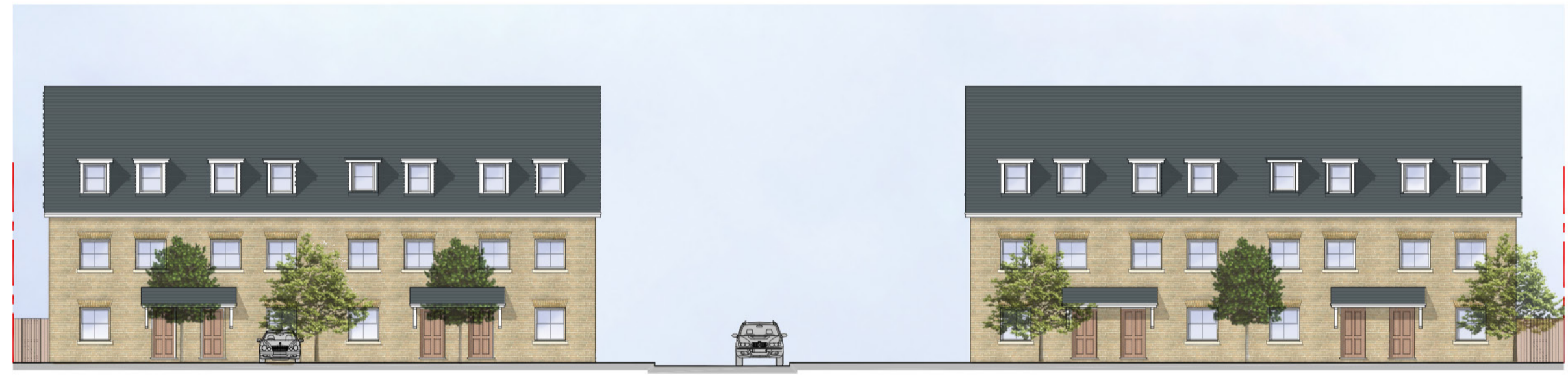
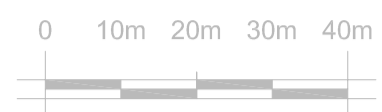
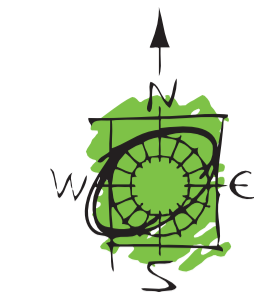
Decision Making: Working in a Positive and Proactive Manner

In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

- a) Provided pre-application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.
- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered;
- c) Have suggested/accepted/negotiated amendments to the scheme to resolve identified problems with the proposal and to seek to foster sustainable development.
- d) Have proactively communicated with the applicant through the process to advise progress, timescales or recommendation.



Proposed Site Plan
Page Aerospace, Sunbury on Thames
15069/ C101E
Scale 1:500 @ A2 November 2015



Datum 10.000 Plot 8 Plot 7 Plot 6 Plot 5 Plot 4 Plot 3 Plot 2 Plot 1

Section A-A



Datum 10.000 Plot 5 Plot 9 Plot 10 Plot 11 Plot 12 Plot 13 Plot 14 Plot 15 Plot 16 Plot 17 Plot 18

Section B-B



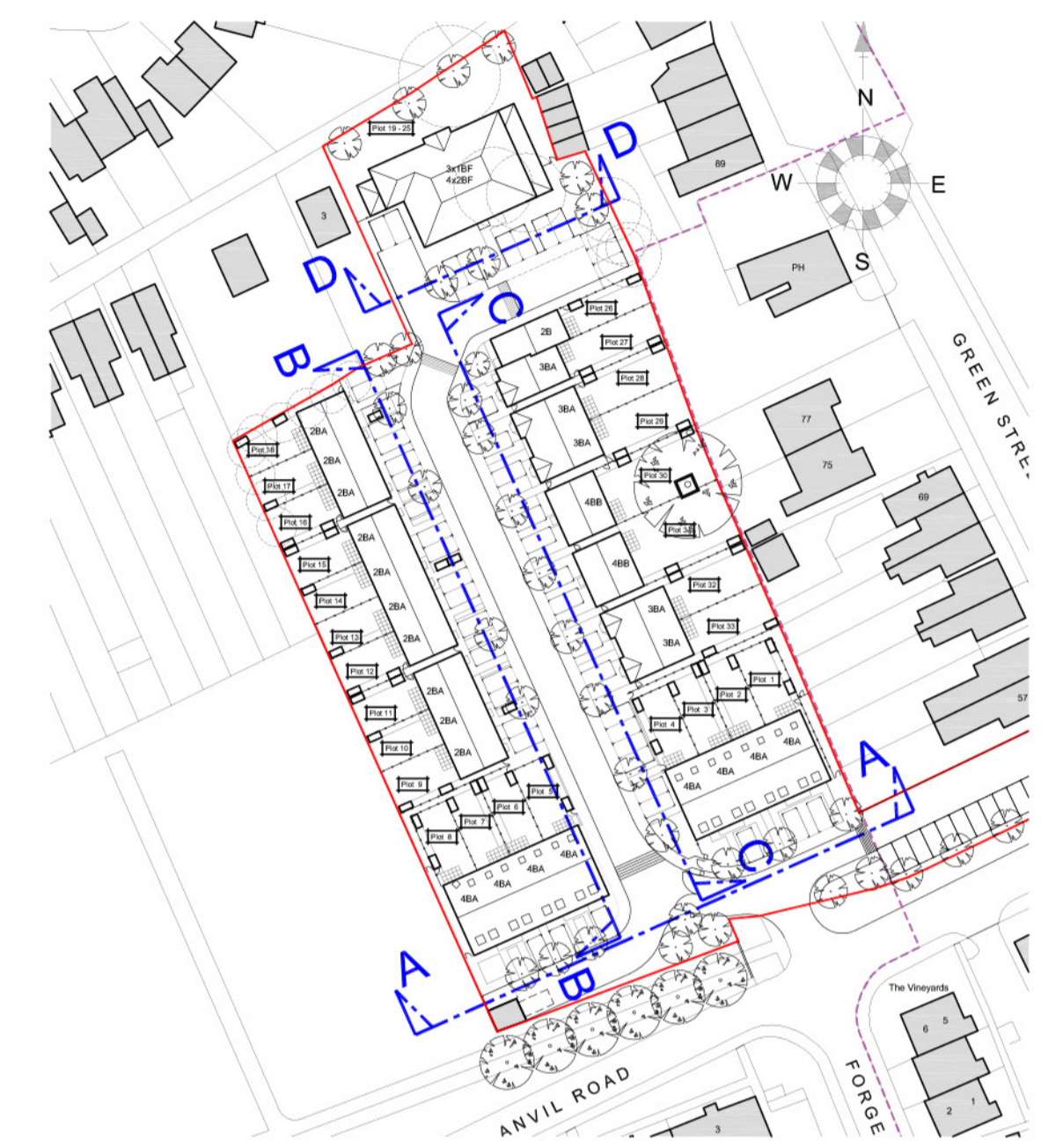
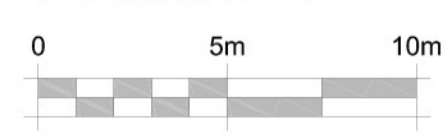
Datum 10.000 Plot 26 Plot 27 Plot 28 Plot 29 Plot 30 Plot 31 Plot 32 Plot 33 Plot 4

Section C-C

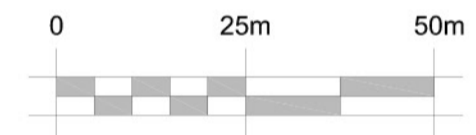


Datum 10.000 Plots 19 - 25

Section D-D



Location Plan 1:1000

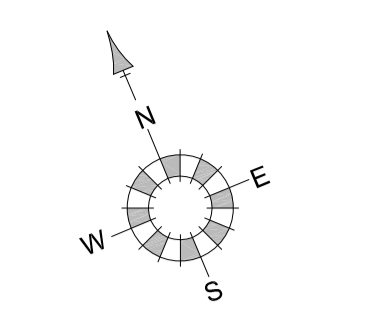


Coloured Street Elevation
Page Aerospace, Sunbury-on-Thames
15069 / C102E
Scale 1:200 @ A1 November 2015



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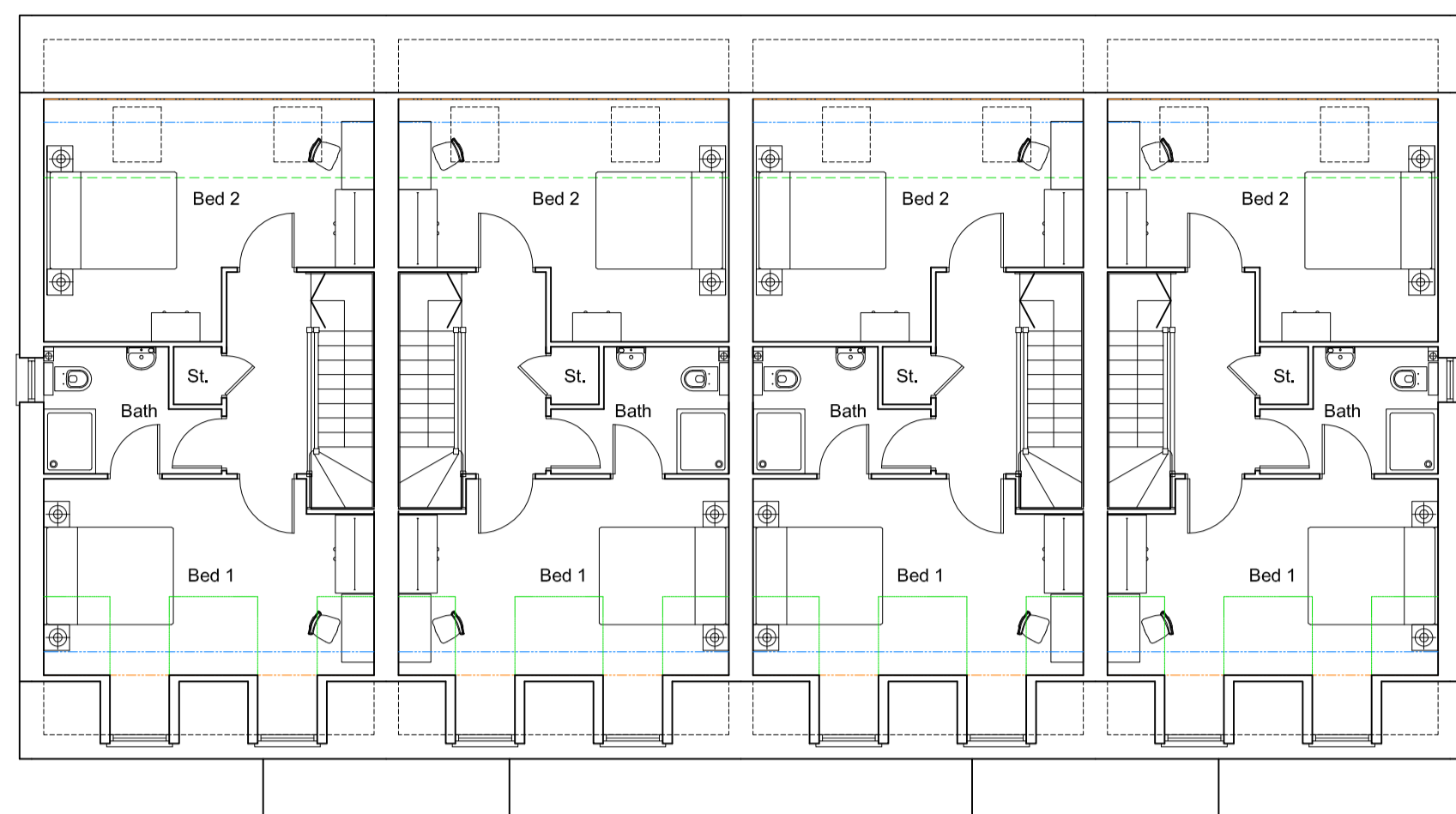
OSP Architecture, Broadmeade House, Farnham Business Park, Weydon Lane, Farnham, Surrey, GU9 8QT, Tel: 01252 267878, www.osparchitecture.com



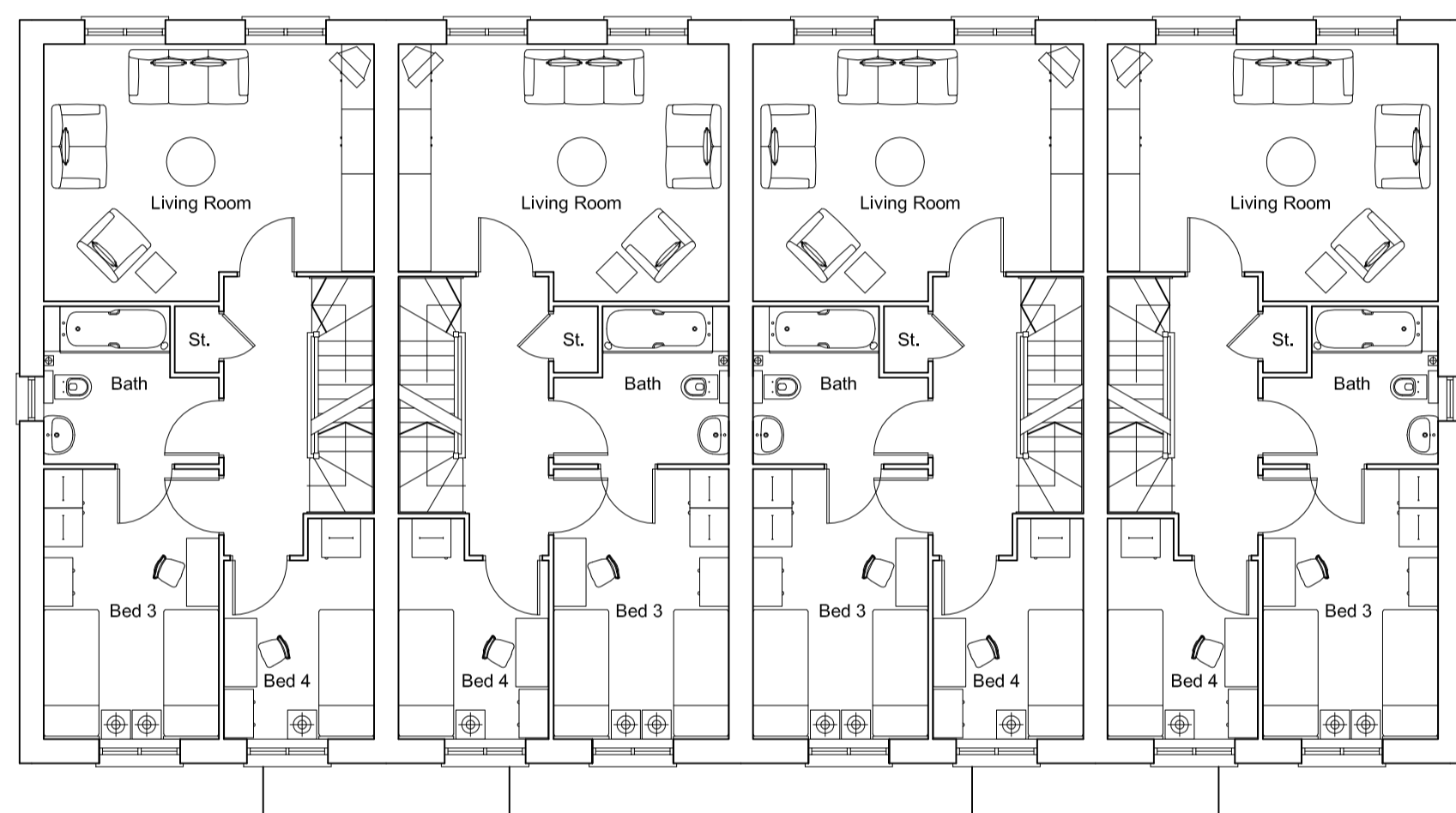
0 2.5m 5m

Skelling Heights	
1500 Skelling Line	—
1800 Skelling Line	—
2100 Skelling Line	—
2500 Ceiling Line	—

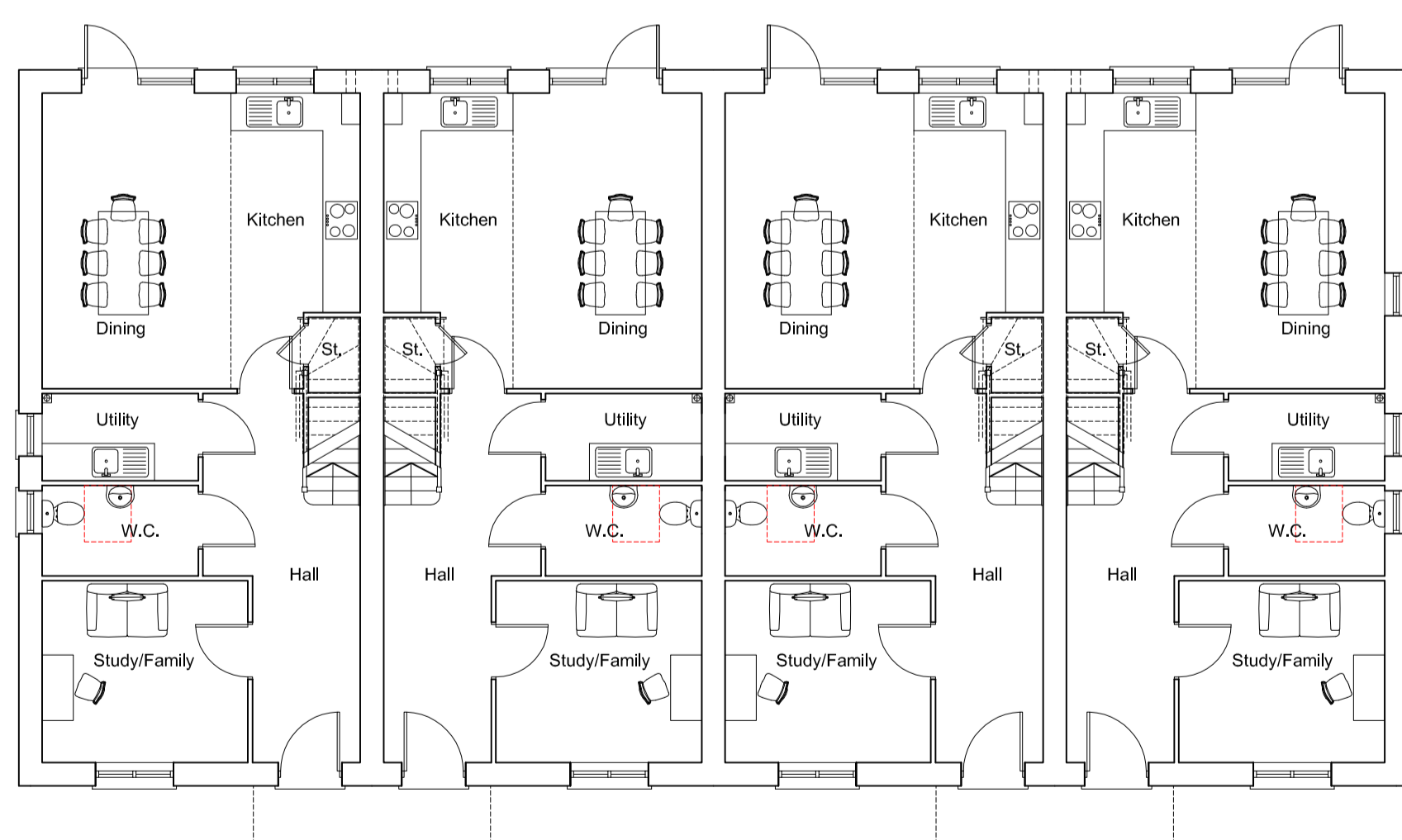
Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown.



Second Floor Plan



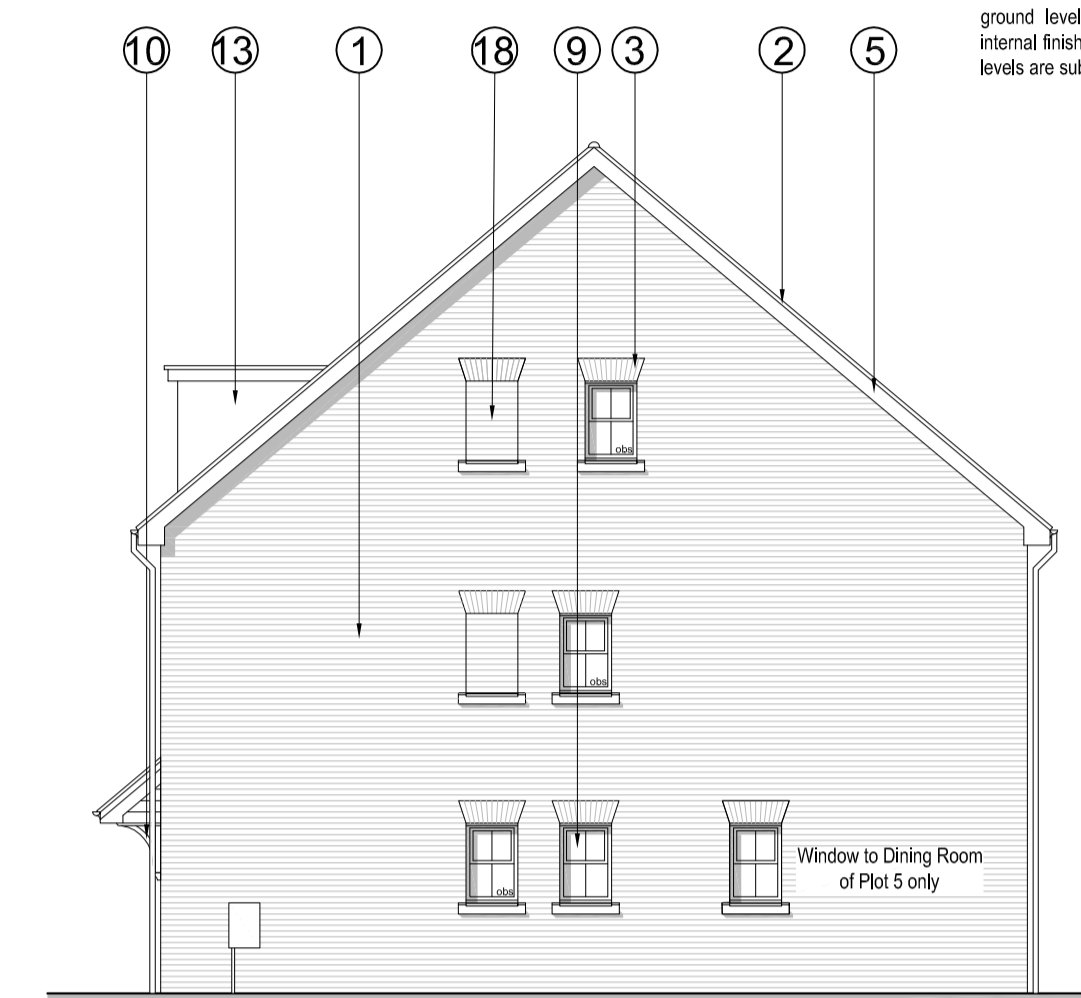
First Floor Plan



Ground Floor Plan



Front Elevation



Side Elevation



Rear Elevation



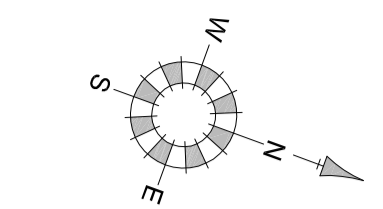
Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑫ Velux roof light
④ Reconstituted stone cill	⑬ GRP dormer
⑤ UPVC barge board, soffits and fascia	⑭ UPVC sash windows - white
⑥ Soldier course head brick type 2	⑮ Dummy windows
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added									
B	29.03.2015	Materials enhanced									
C	30.03.2015	Client revisions									
D	01.10.2015	Alternative layout									
E	12.10.2015	Client revisions									
F	20.11.2015	Issued for Planning									
G	02.12.2015	Ridge heights added									
H	15.02.2016	Window added to DR plot 5									

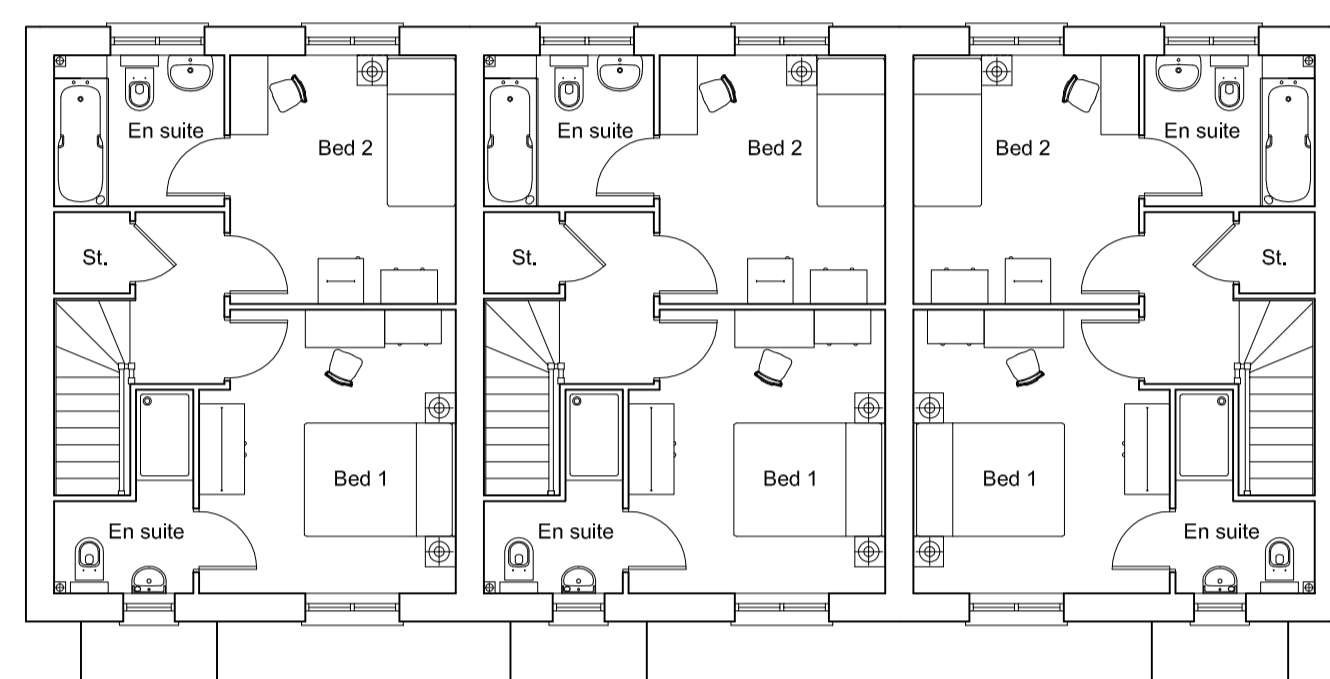
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames	Broadmede House Farnham Business Park Weydon Lane Farnham, Surrey GU9 8QT Tel. 01252 267878 name.surname@osp architecture.com www.osparchitecture.com	
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 1 - 4, 5 - 8 Floor Plans and Elevations (4BA) Alt		
DRAWN:	99	15069	P110	H	
DATE:	Sep.15				

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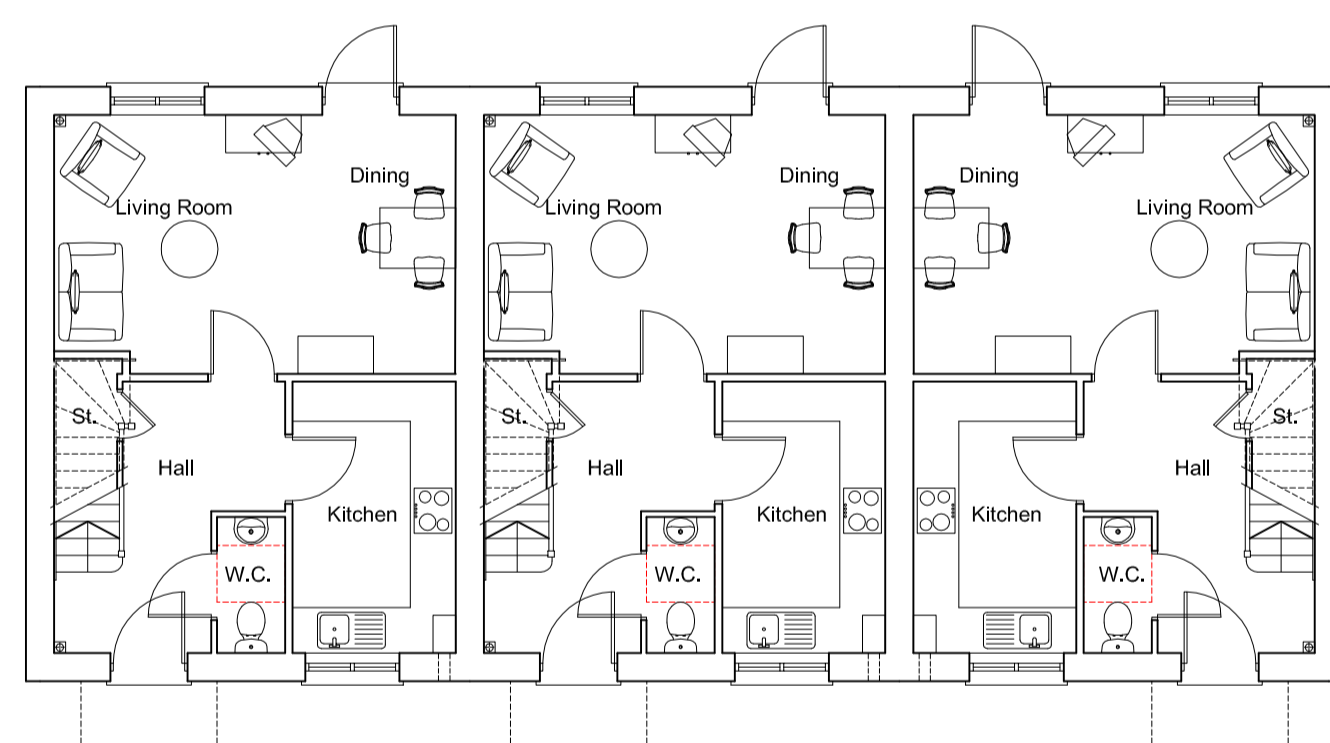


0 2.5m 5m

Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



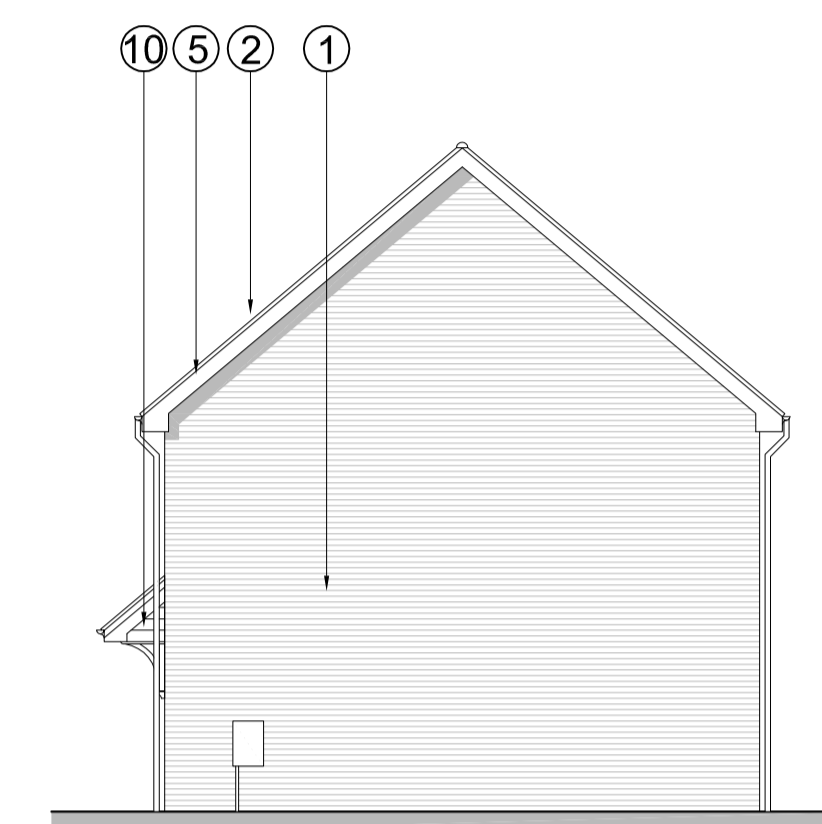
First Floor Plan



Ground Floor Plan



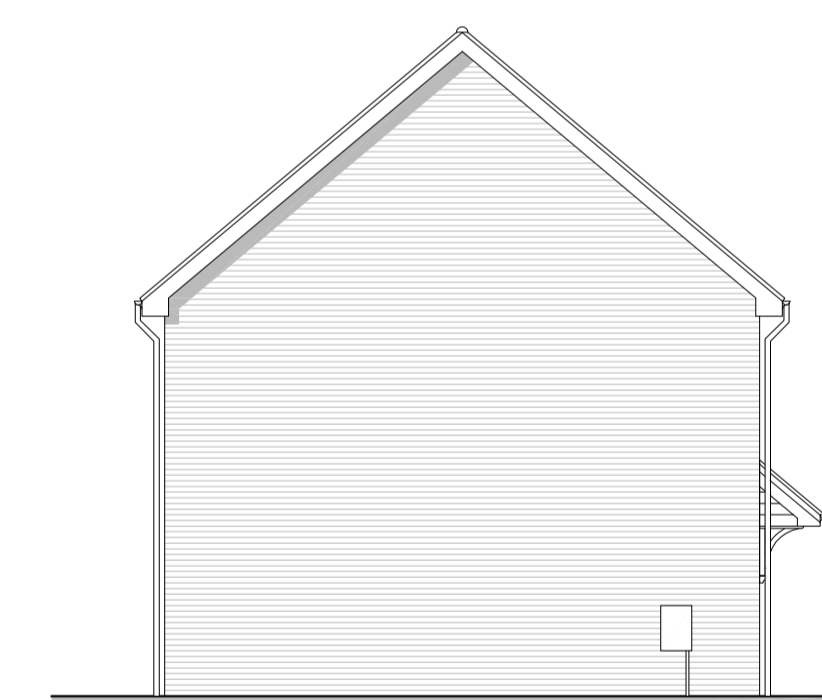
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

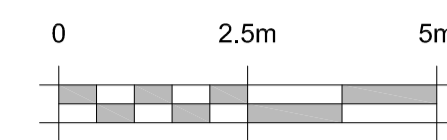
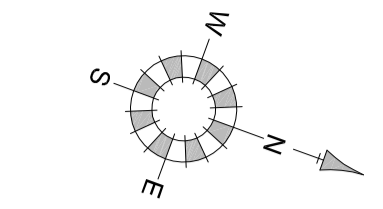
Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added									
B	23.03.2015	Materials enhanced									
C	30.03.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

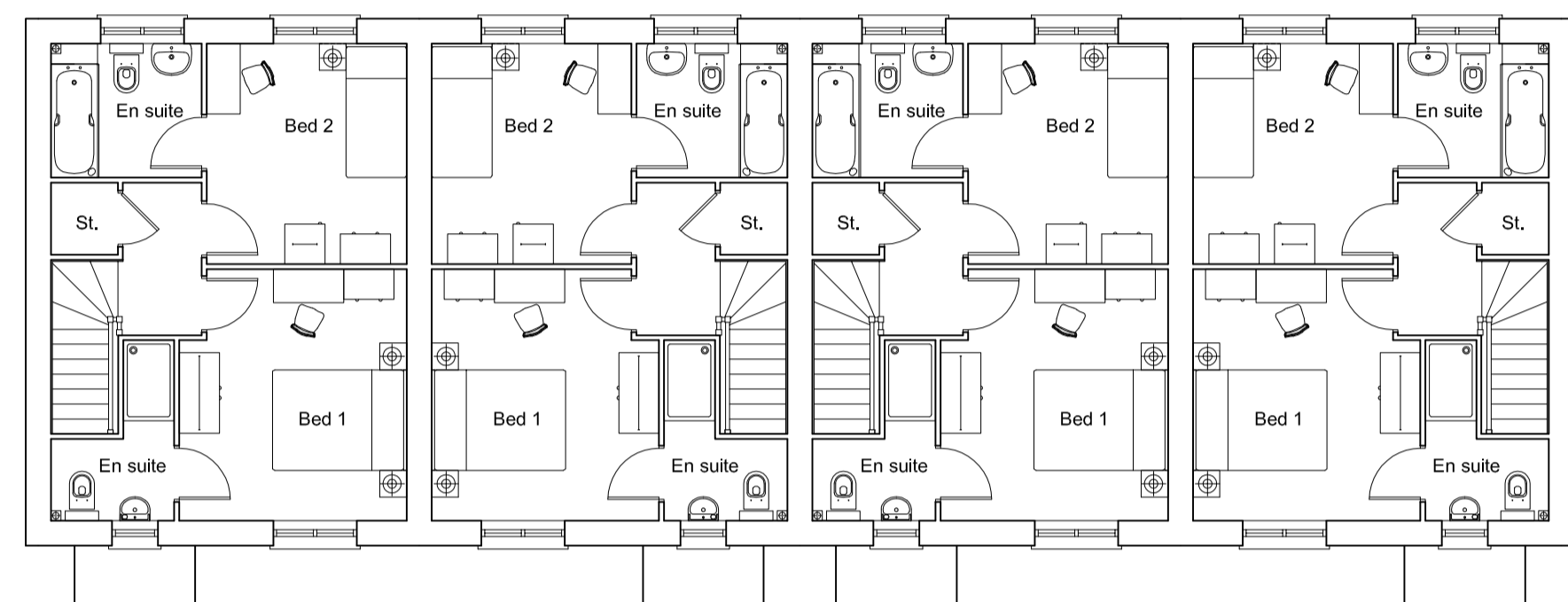
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 9 - 11 Floor Plans and Elevations (2BA)
DRAWN:	99	15069	P111
DATE:	Sep.15		F

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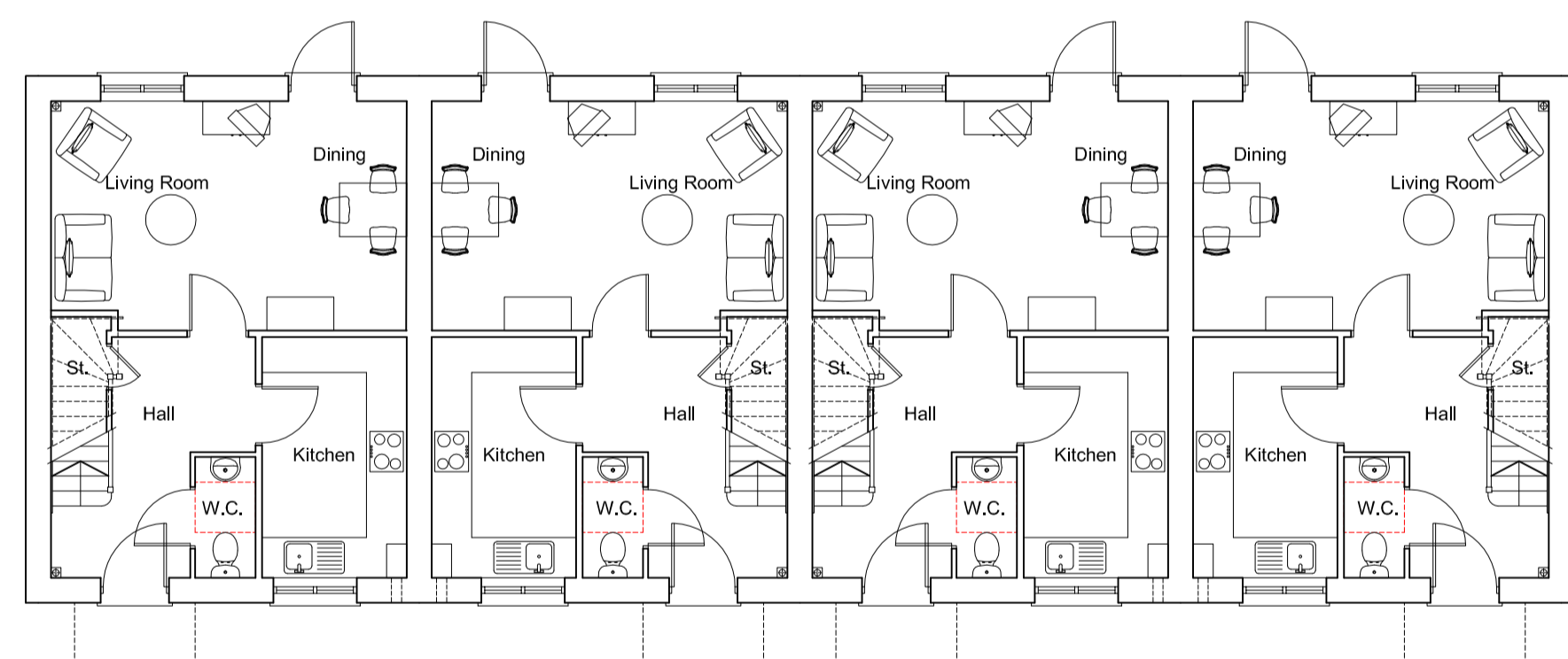
O'KEEFE SCANLON LIMITED



Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



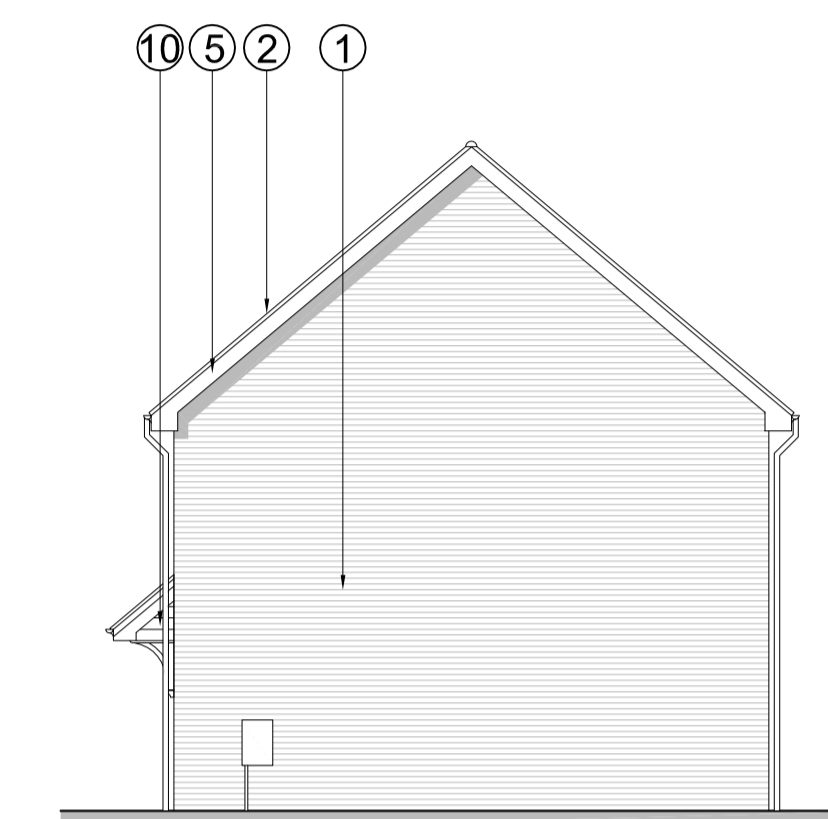
First Floor Plan



Ground Floor Plan



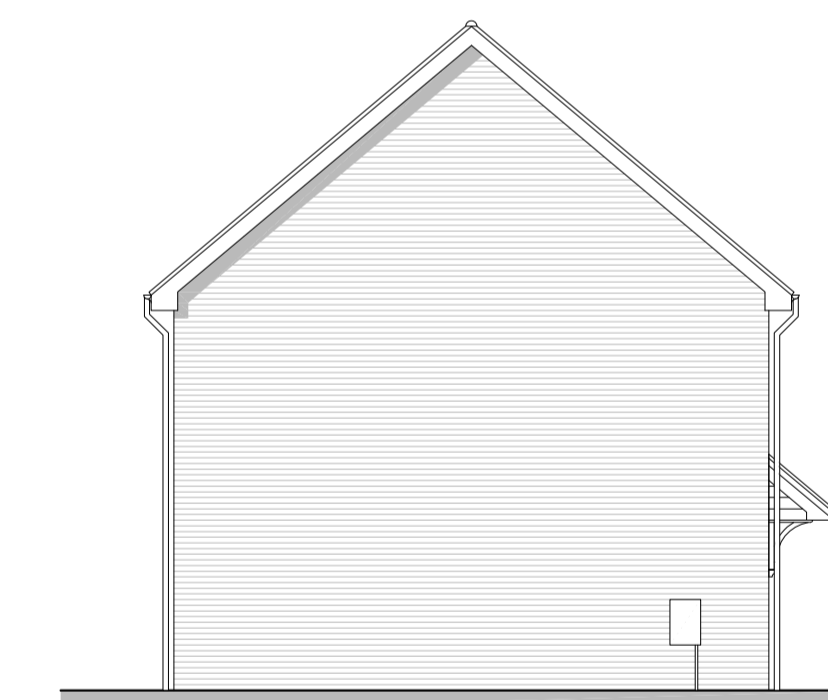
Front Elevation



Side Elevation



Rear Elevation



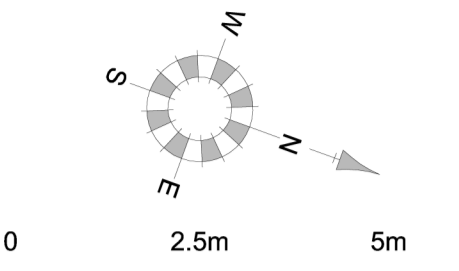
Side Elevation

Materials	
①	Facing brickwork brick type 1
②	Cement slate appearance roof tiles - dark grey
③	4 Course flat arch brick type 2
④	Reconstituted stone oill
⑤	UPVC barge board, soffits and fascia
⑥	Soldier course head brick type 2
⑦	150 brick course oill brick type 2
⑧	UPVC doors
⑨	UPVC windows
⑩	Timber gallows bracket and soffit boards painted white
⑪	UPVC Deep flow gutters

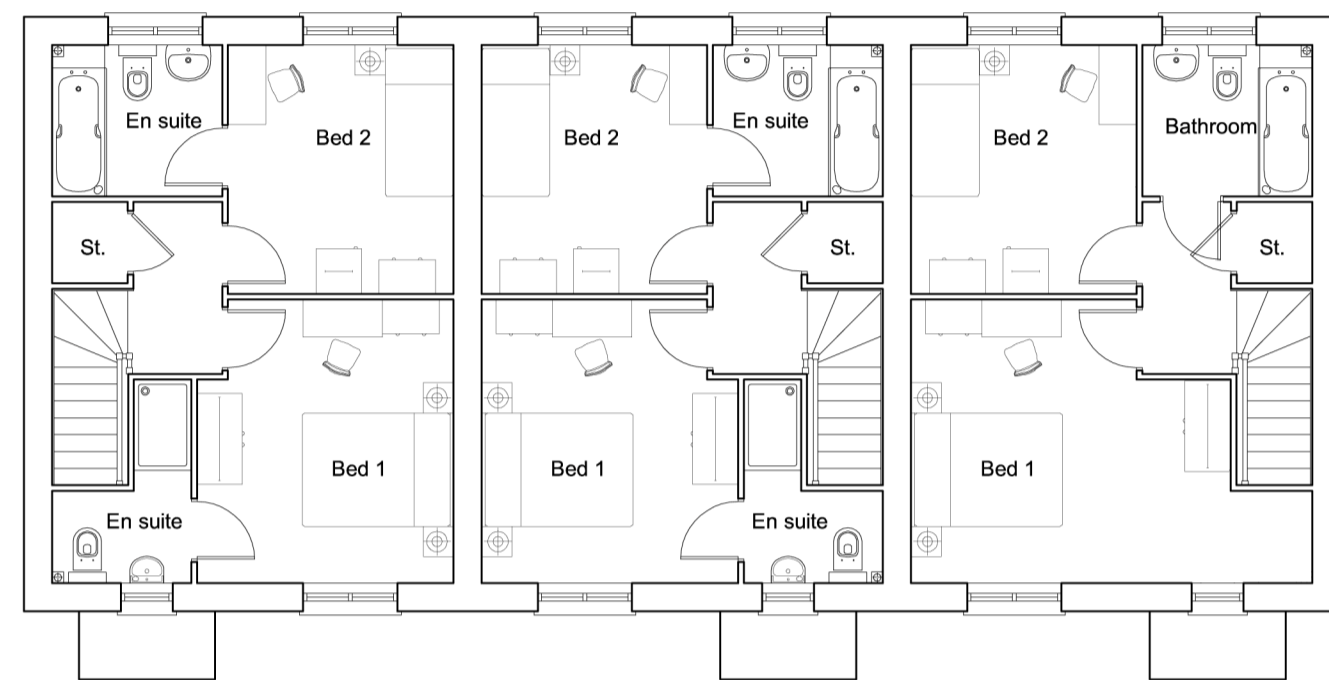
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B	23.03.2015	Materials enhanced					
C	30.03.2015	Client revisions					
D	12.10.2015	Client revisions					
E	20.11.2015	Issued for Planning					
F	02.12.2015	Ridge heights added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 12 - 15 Floor plans and Elevations (2BA)
DRAWN:	gg	15069	P112
DATE:	Sep.15		F

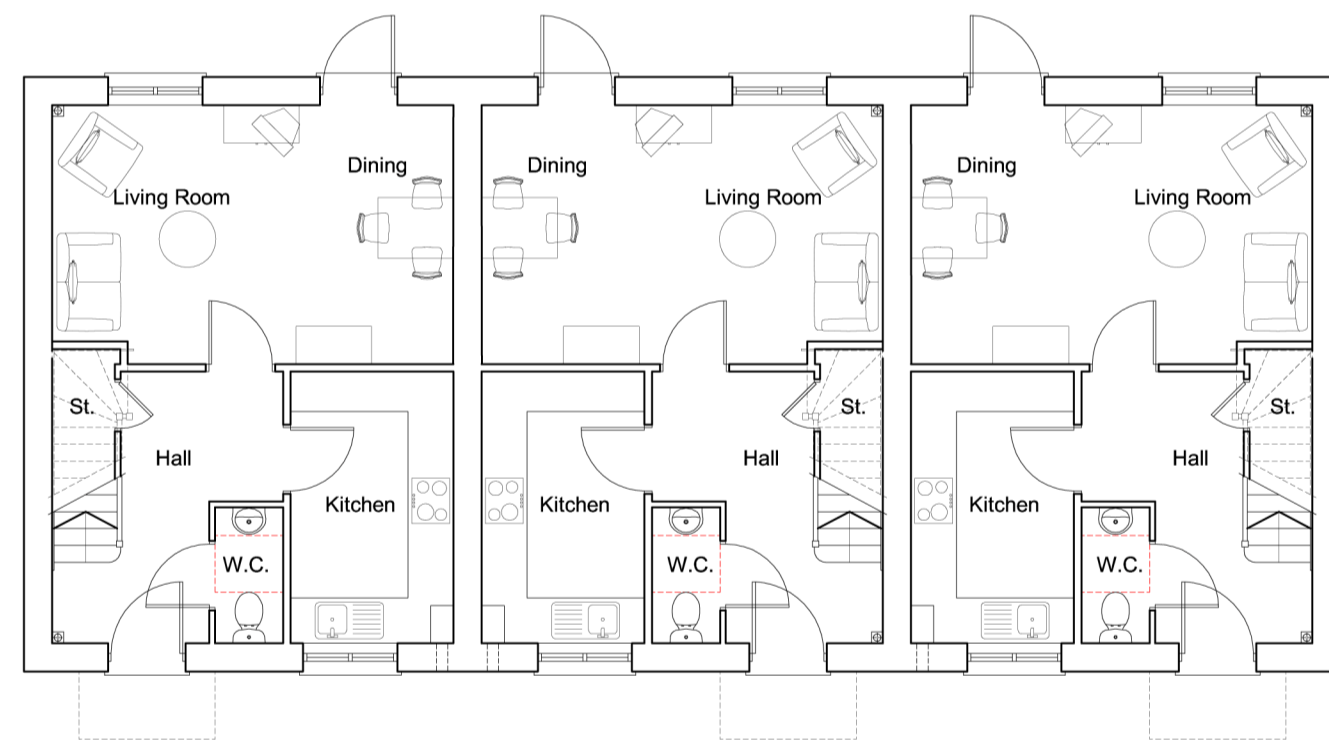
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 www.osparchitecture.com
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown.



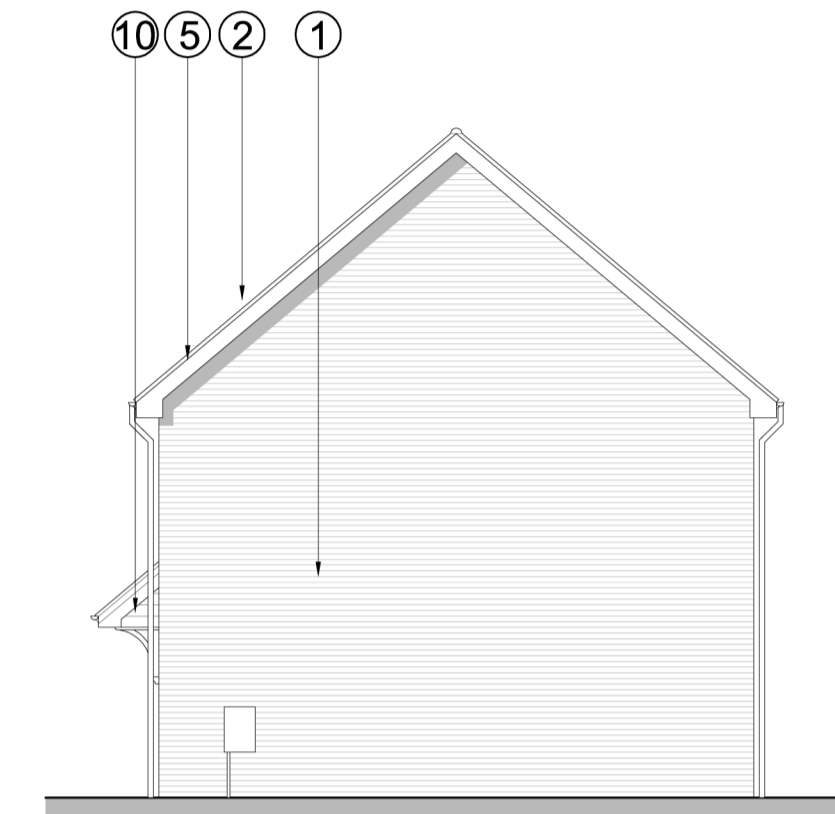
First Floor Plan



Ground Floor Plan



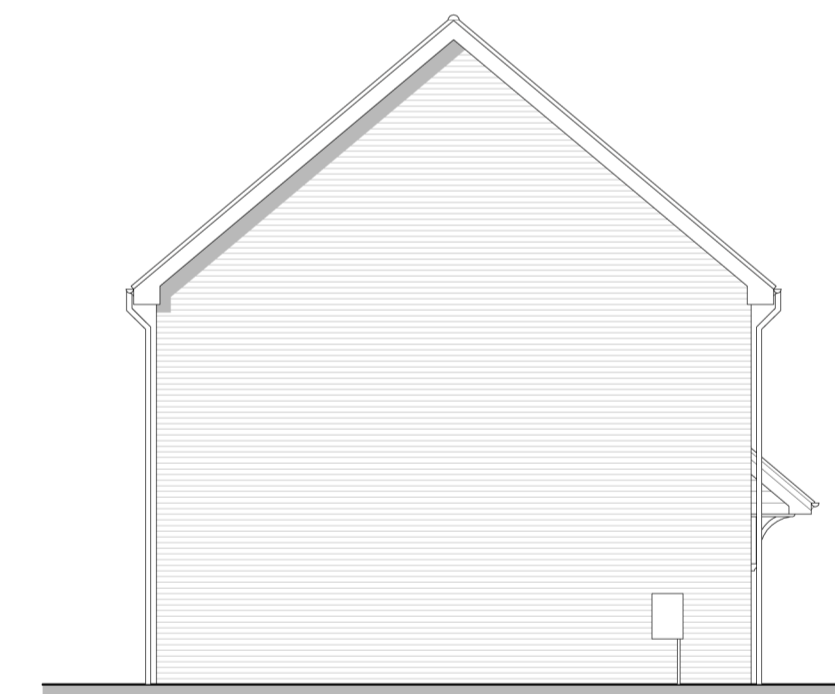
Front Elevation



Side Elevation



Rear Elevation

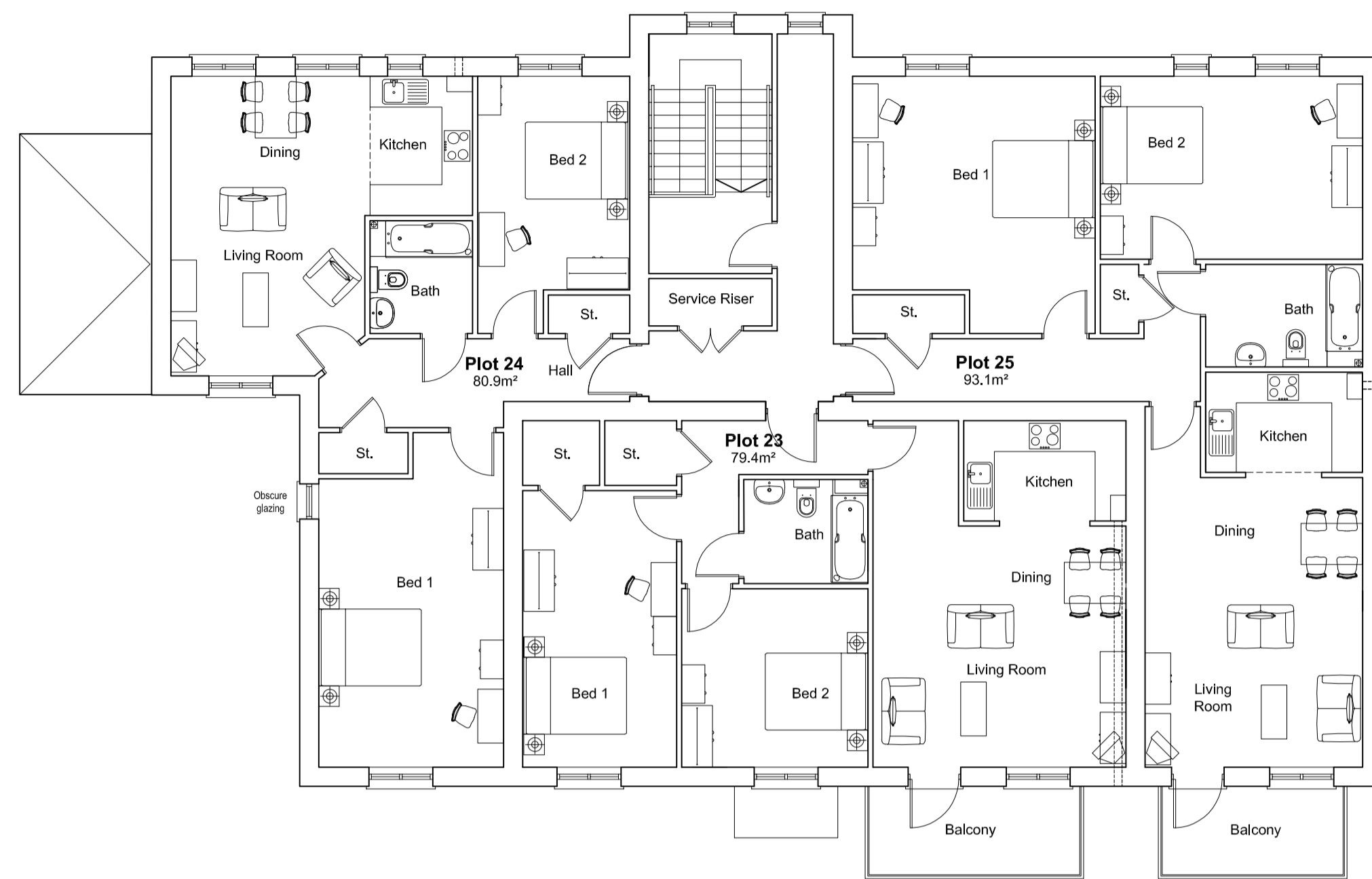
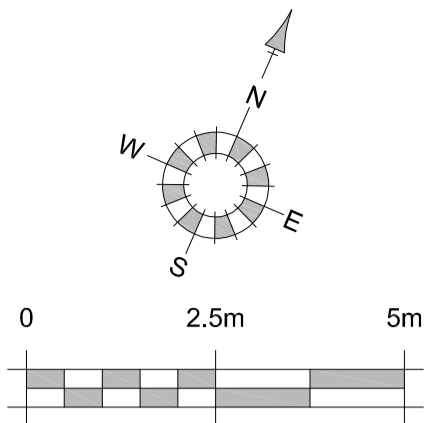


Side Elevation

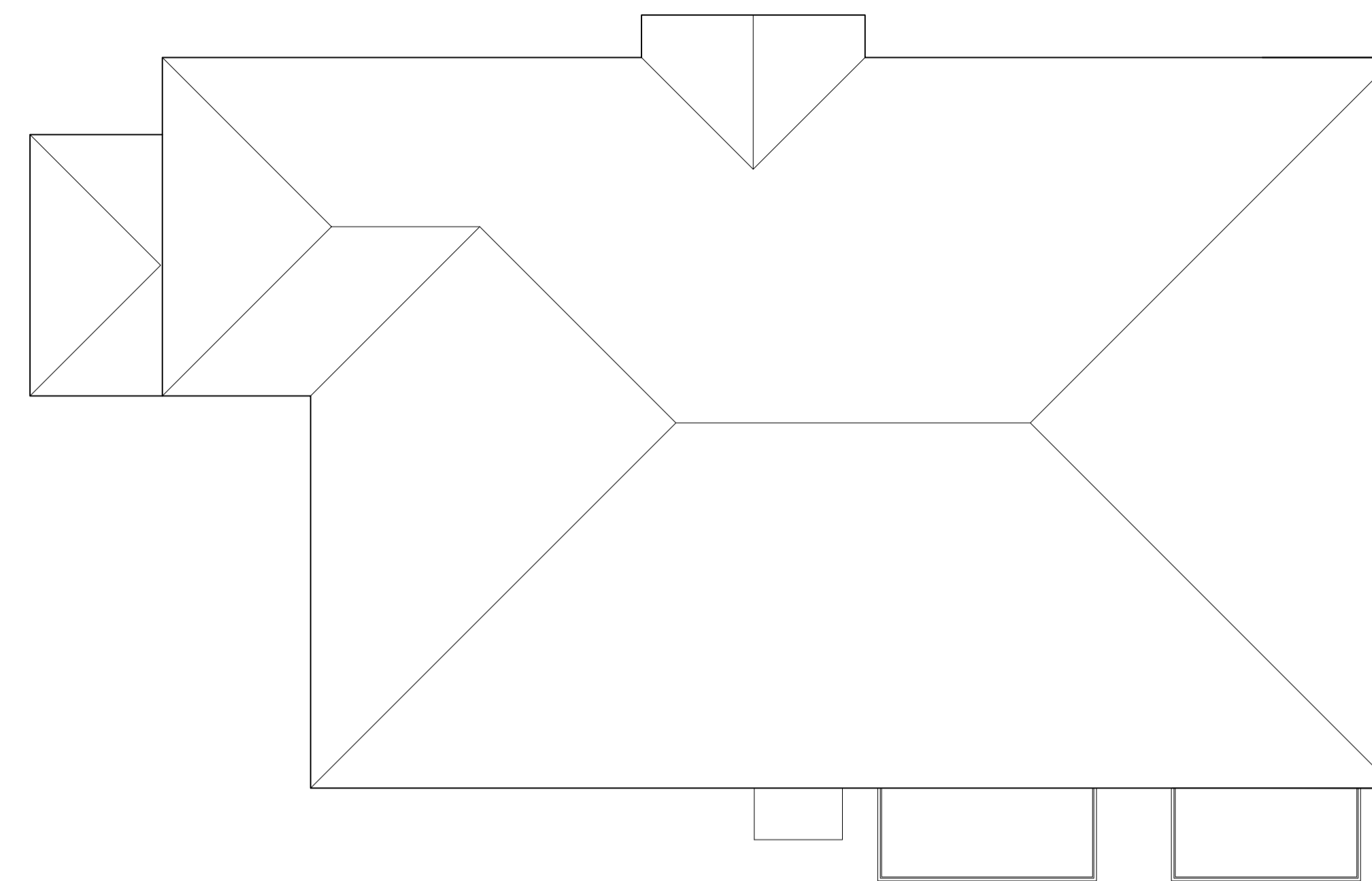
Materials	
①	Facing brickwork brick type 1
②	Cement slate appearance roof tiles - dark grey
③	4 Course flat arch brick type 2
④	Reconstituted stone sill
⑤	UPVC barge board, soffits and fascia
⑥	Soldier course head brick type 2
⑦	150 brick course sill brick type 2
⑧	UPVC doors
⑨	UPVC windows
⑩	Timber gallows bracket and soffit boards painted white
⑪	UPVC Deep flow gutters

REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added									
B	29.09.2015	Materials enhanced									
C	30.09.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									
G	10.01.2016	Client revisions added									

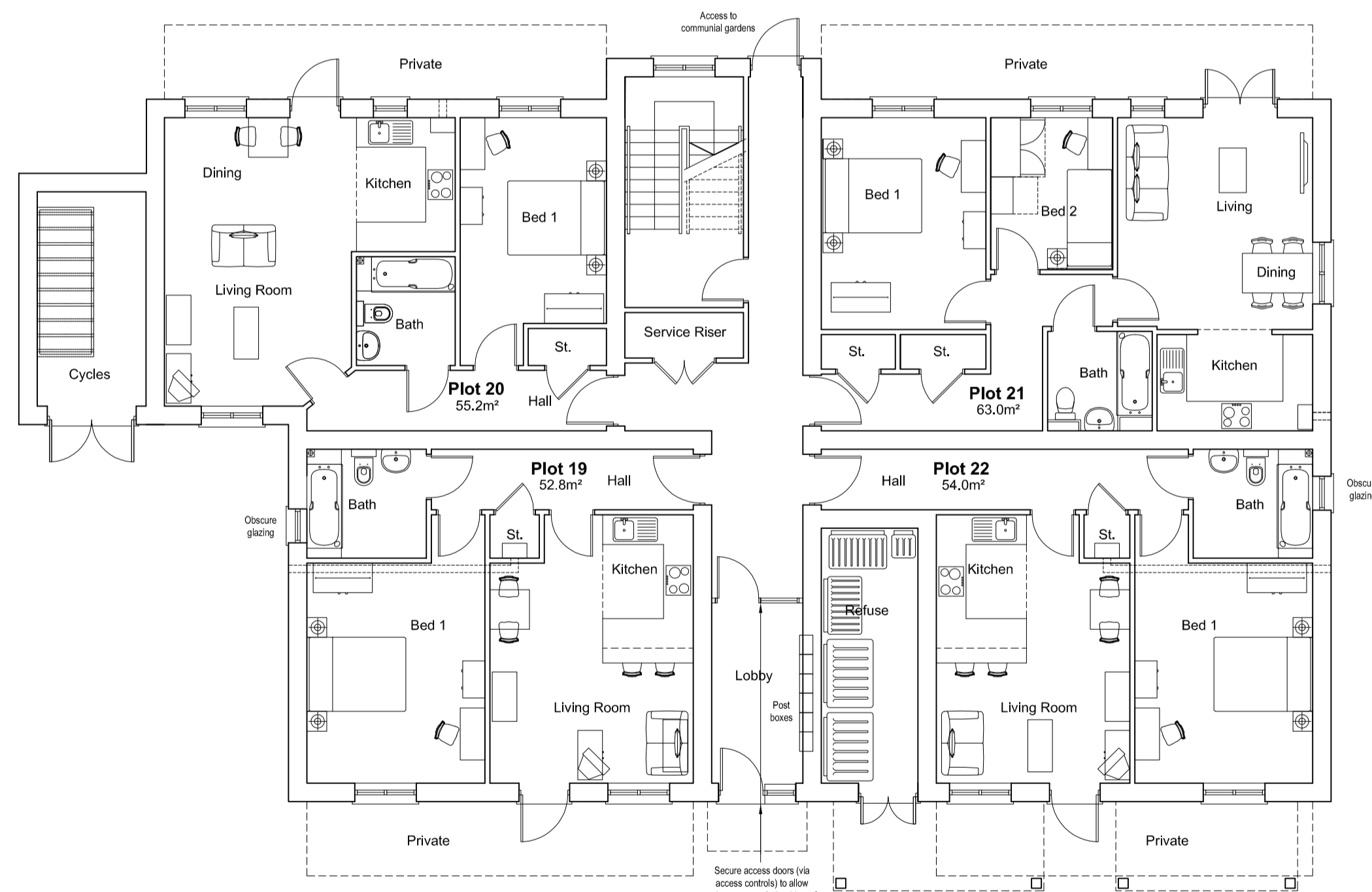
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames	Broadmeade House Farnham Business Park Weydon Lane Farnham, Surrey GU9 8QT Tel. 01252 267878 name.surname@osp architecture.com www.osparchitecture.com	
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 16 - 18 Floor plans and Elevations (2BA)		
DRAWN:	gg	15069	P113	G	O'KEEFE SCANLON LIMITED
DATE:	Sep.15				



First Floor Plan



Roof Plan



Ground Floor Plan

REV	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added					
B	29.09.2015	Client revisions added					
C	30.09.2015	Client revisions added					
D	12.10.2015	Client revisions added					
E	20.11.2015	Issued for Planning					
F	15.02.2016	Ensuite removed from 2 Bed Flats, secured by design comments added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 19 - 25 Floor Plans
DRAWN:	99	15069	P114
DATE:	Sep.15		F

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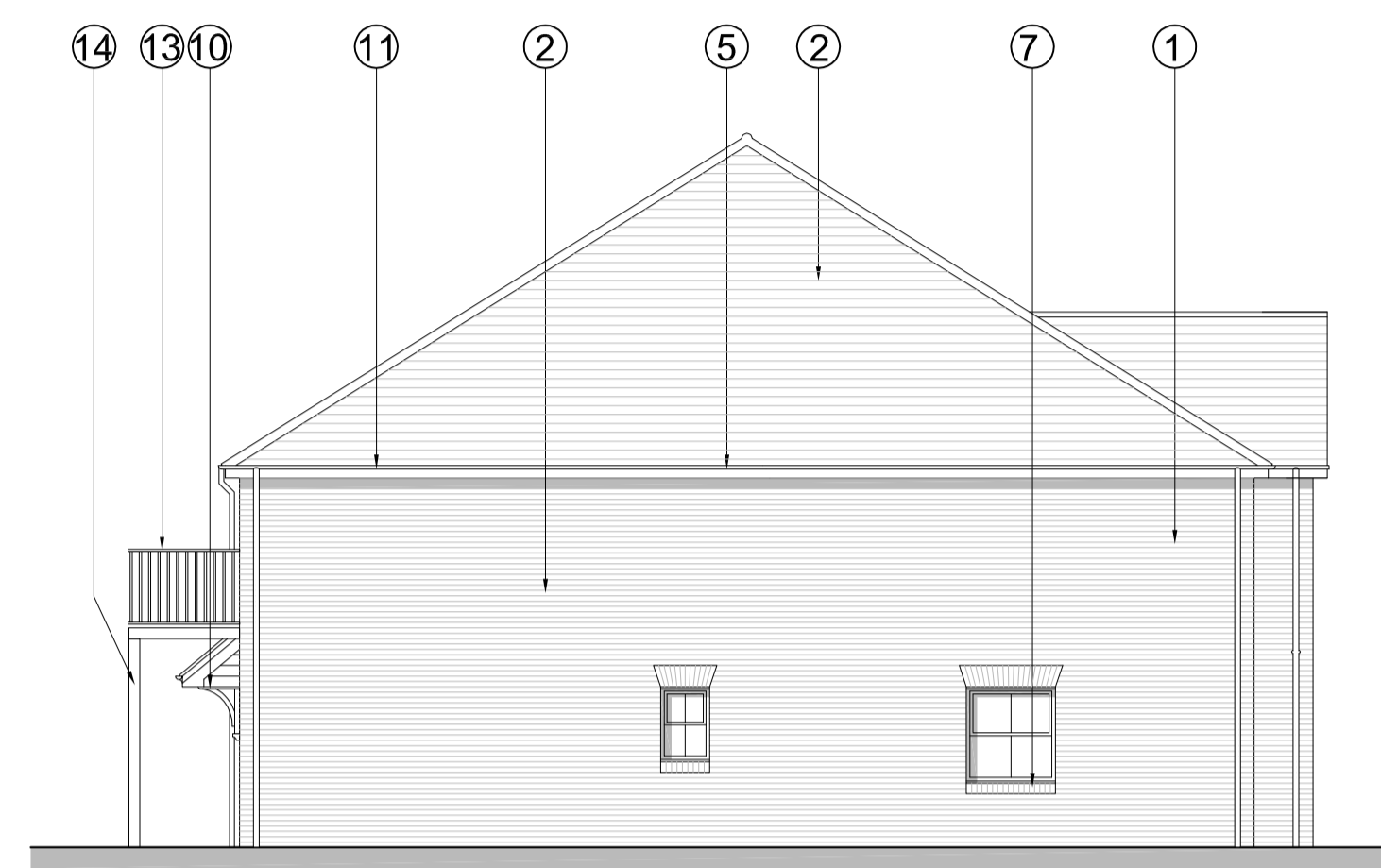
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



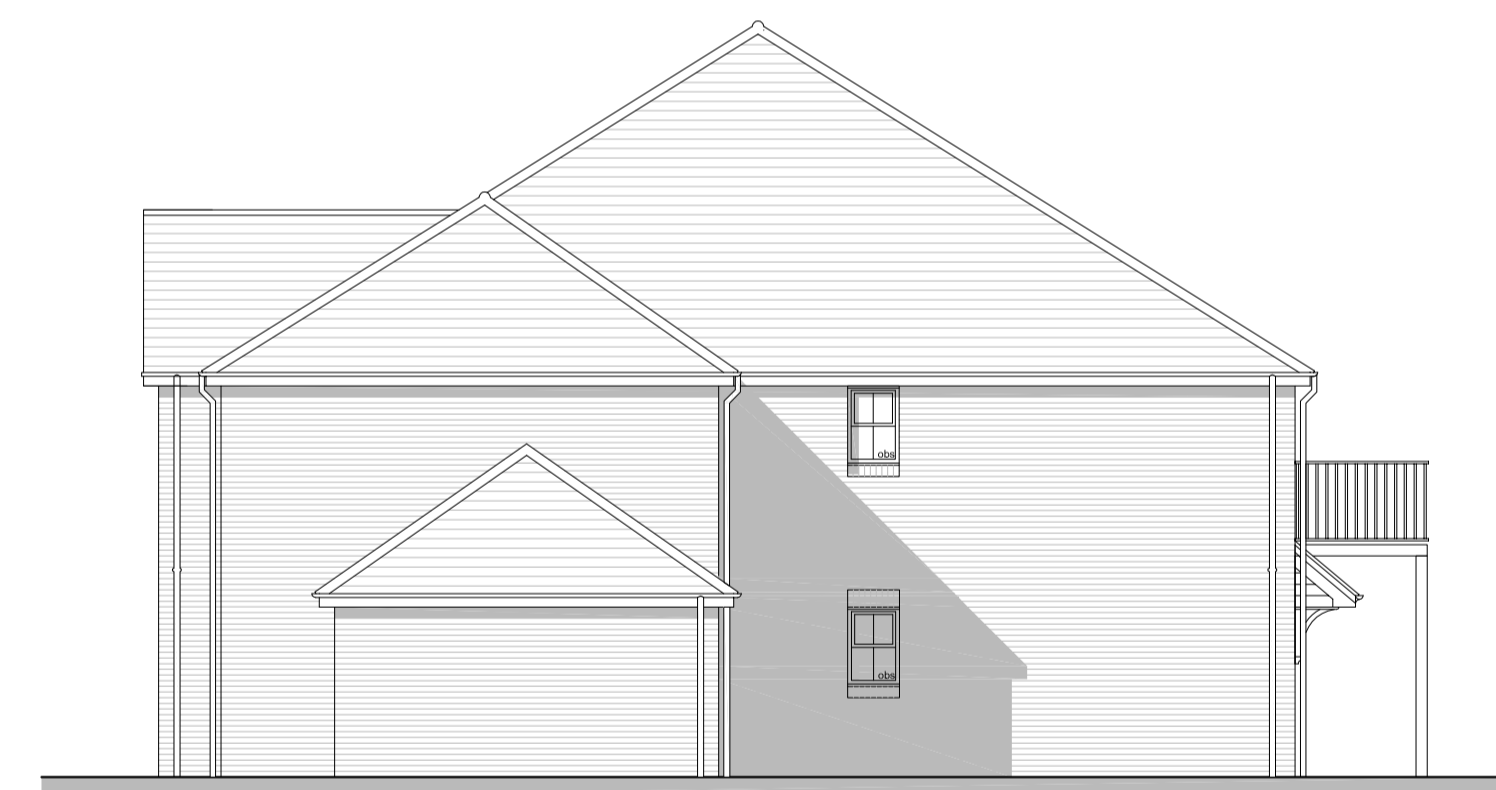
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑫ Steel louvered doors
④ Reconstituted stone cill	⑬ PPC Steel railings
⑤ UPVC barge board, soffits and fascia	⑭ PPC square hollow section posts
⑥ Soldier course head	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

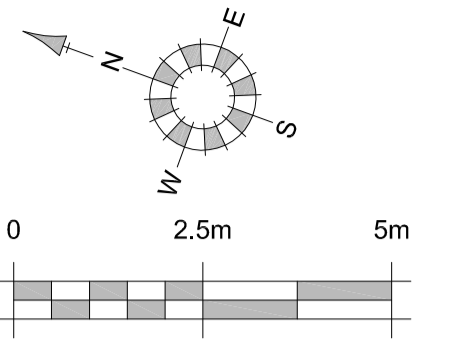
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A	21.03.2015	Client revisions added					
B	23.03.2015	Materials enhanced					
C	30.03.2015	Client revisions					
D	12.10.2015	Client revisions					
E	20.11.2015	Issued for Planning					
F	02.12.2015	Ridge heights added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 19 - 25 Elevations
DRAWN:	99		
DATE:	Sep.15		

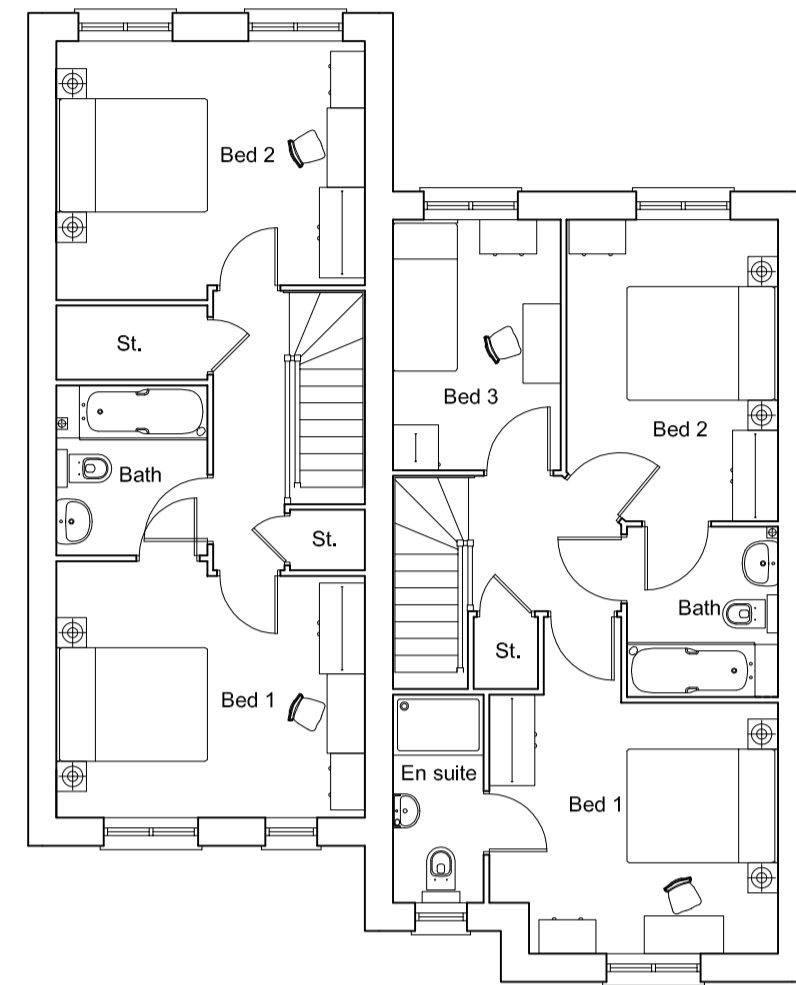
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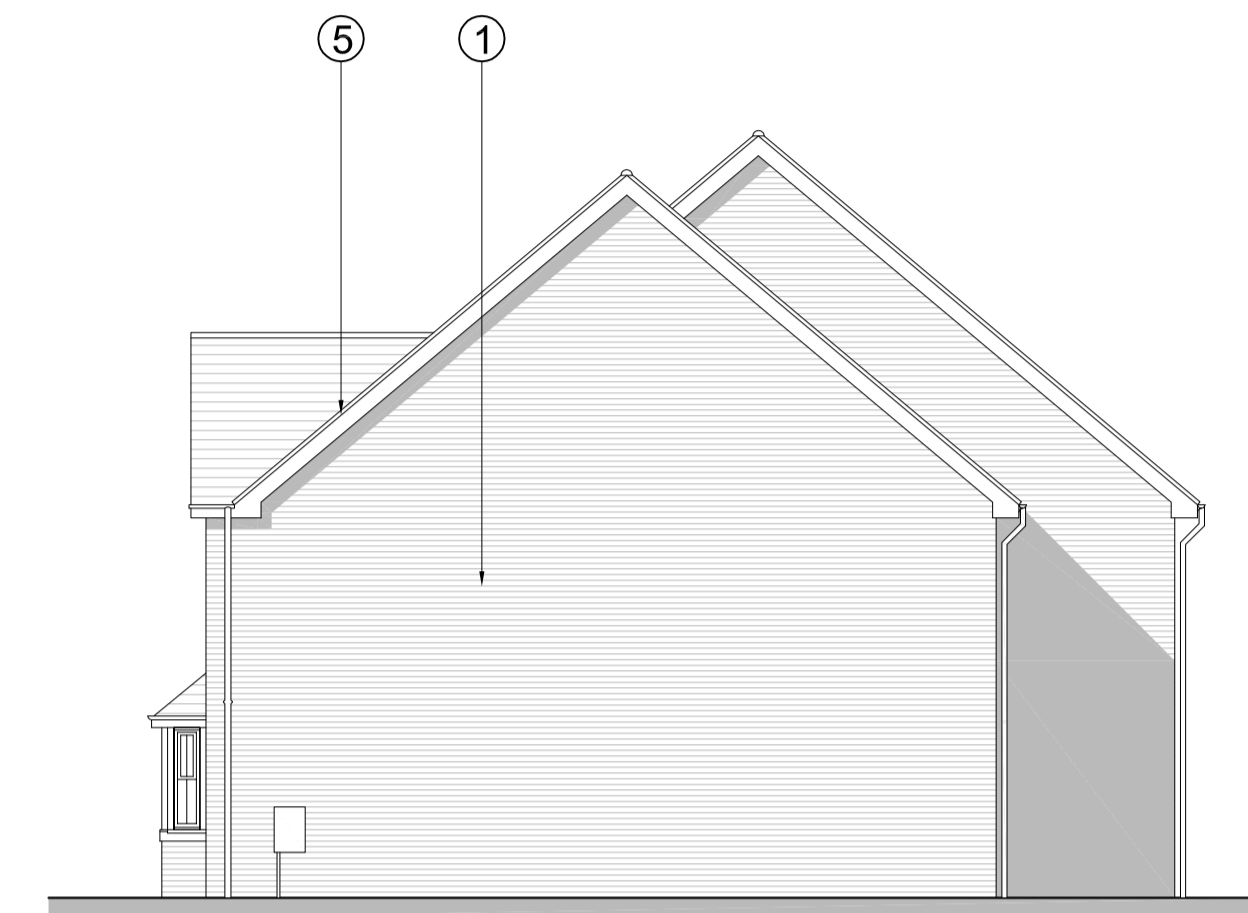
Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



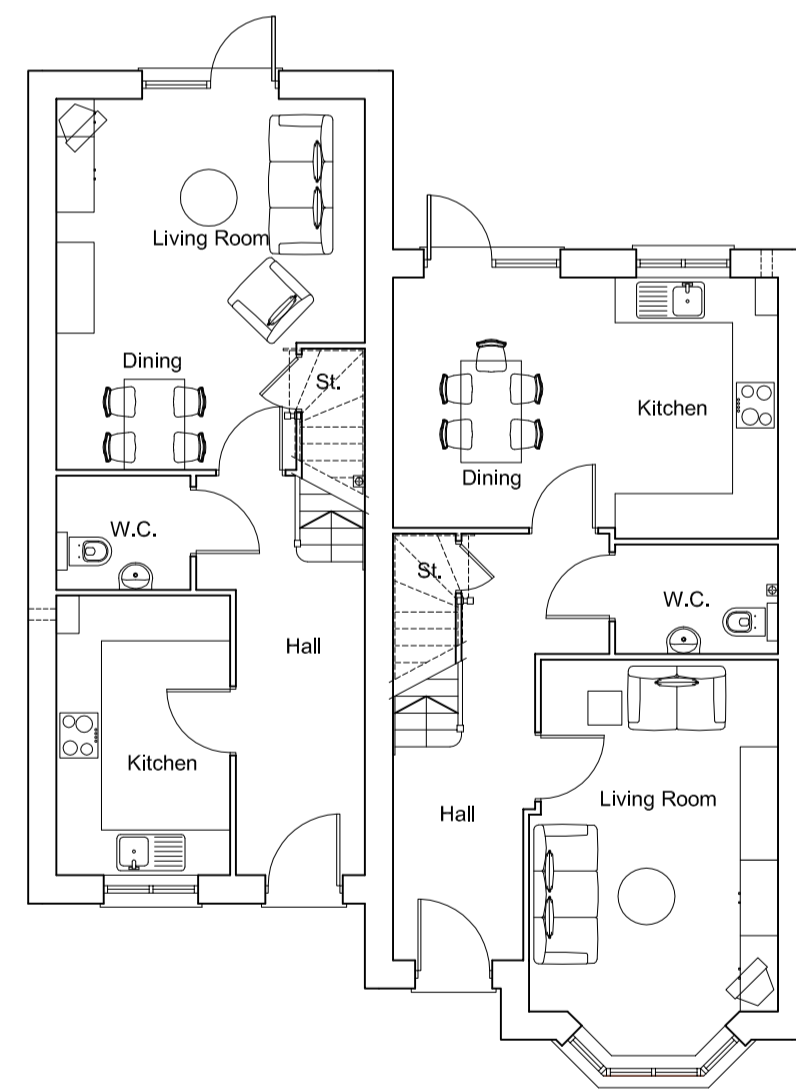
First Floor Plan



Front Elevation



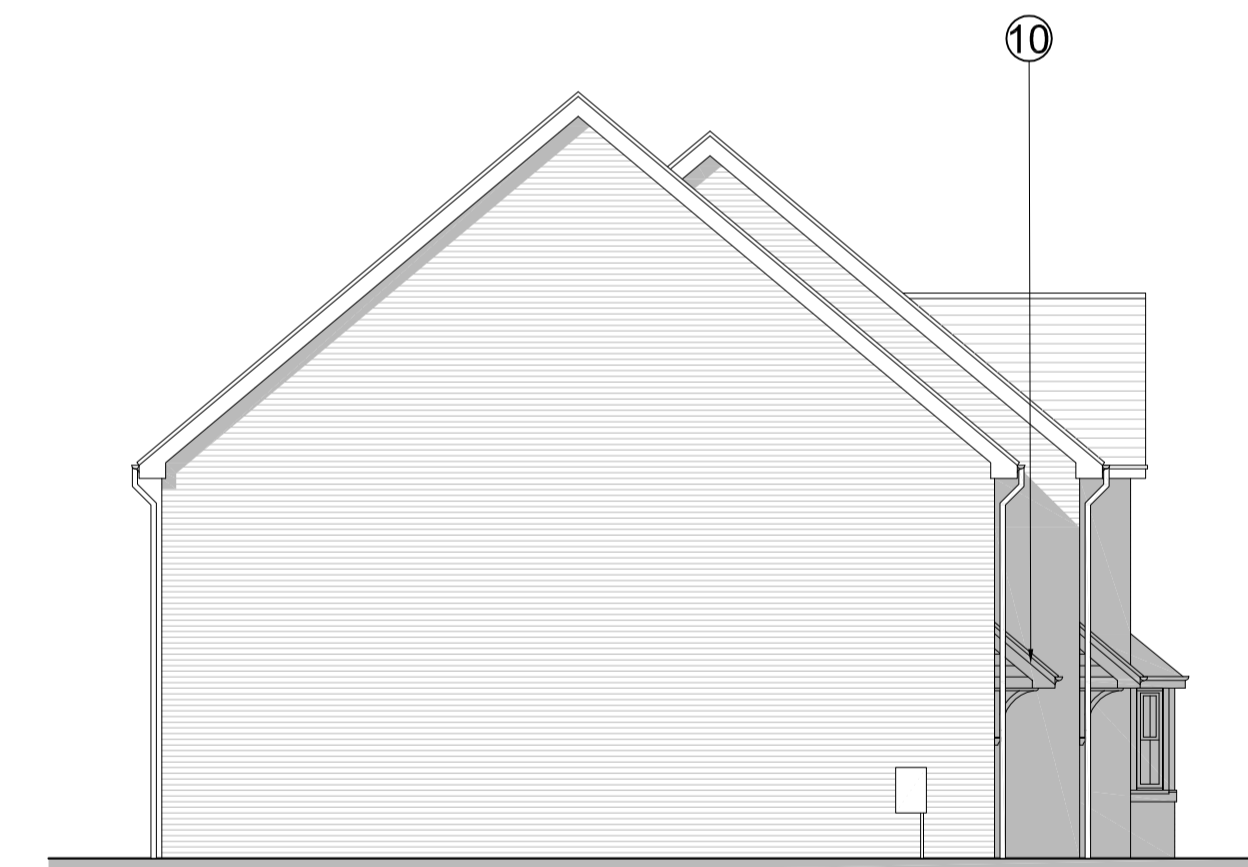
Side Elevation



Ground Floor Plan



Rear Elevation



Side Elevation

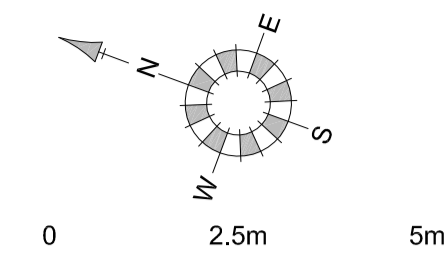
Materials	
①	Facing brickwork brick type 1
②	Cement slate appearance roof tiles - dark grey
③	4 Course flat arch brick type 2
④	Reconstituted stone cill
⑤	UPVC barge board, soffits and fascia
⑥	Soldier course head brick type 2
⑦	150 brick course cill brick type 2
⑧	UPVC doors
⑨	UPVC windows
⑩	Timber gallows bracket and soffit boards painted white
⑪	UPVC Deep flow gutters

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added									
B	29.09.2015	Materials enhanced									
C	30.09.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

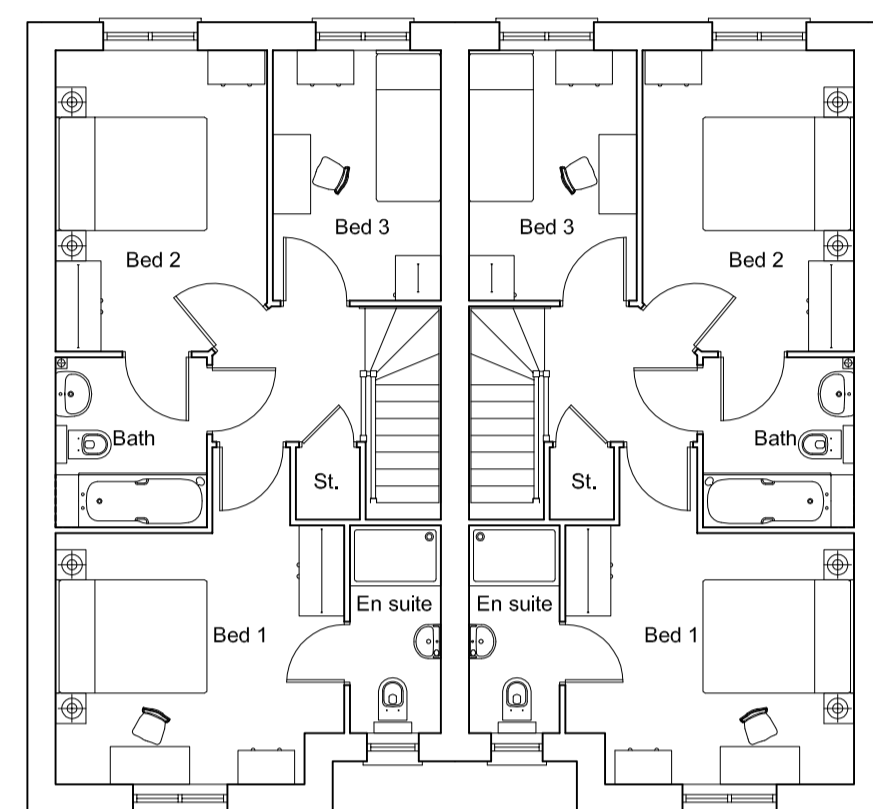
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SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 26 - 27 Floor Plans and Elevations (2B/3BA)
DRAWN:	99	15069	P116
DATE:	Sep.15		F

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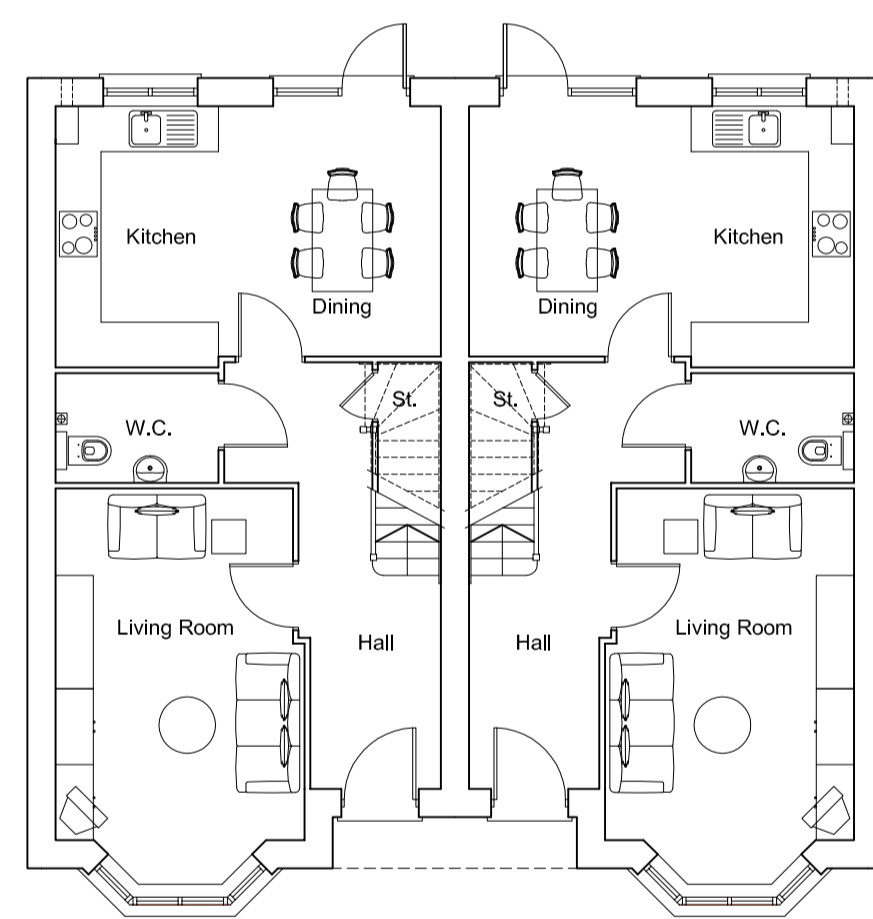
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



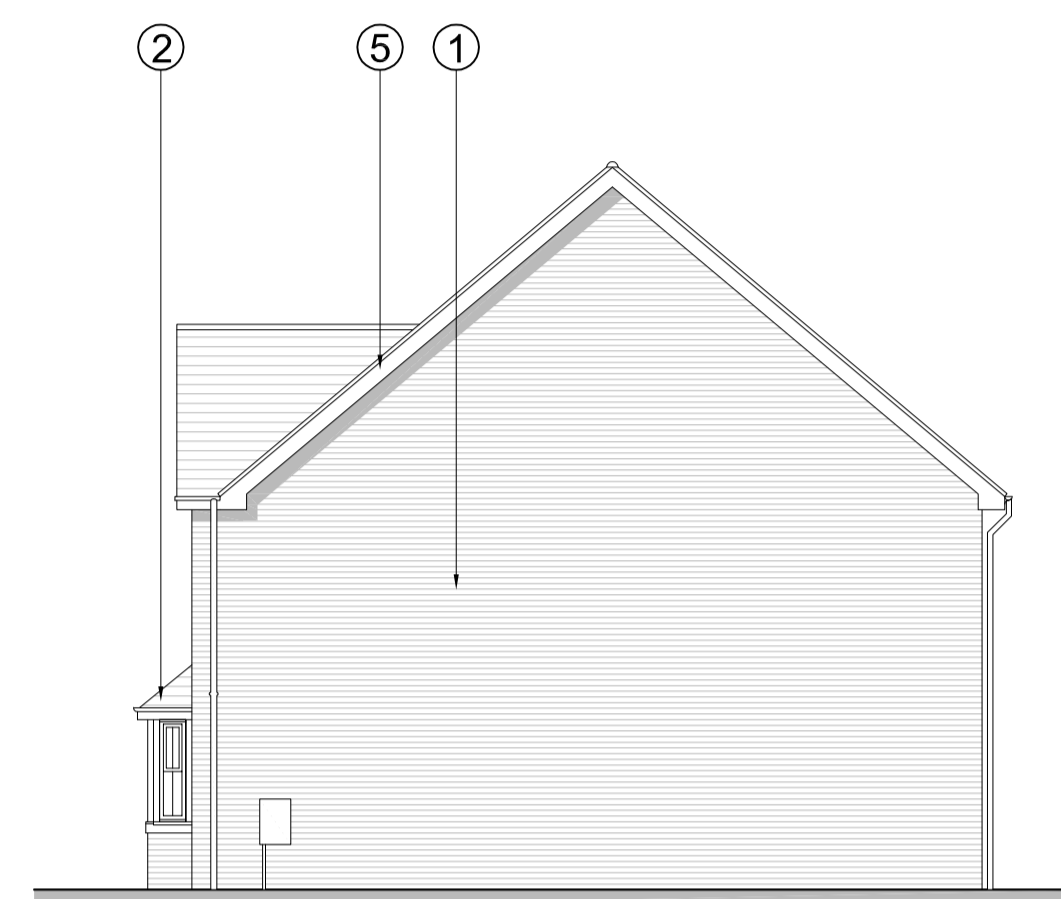
First Floor Plan



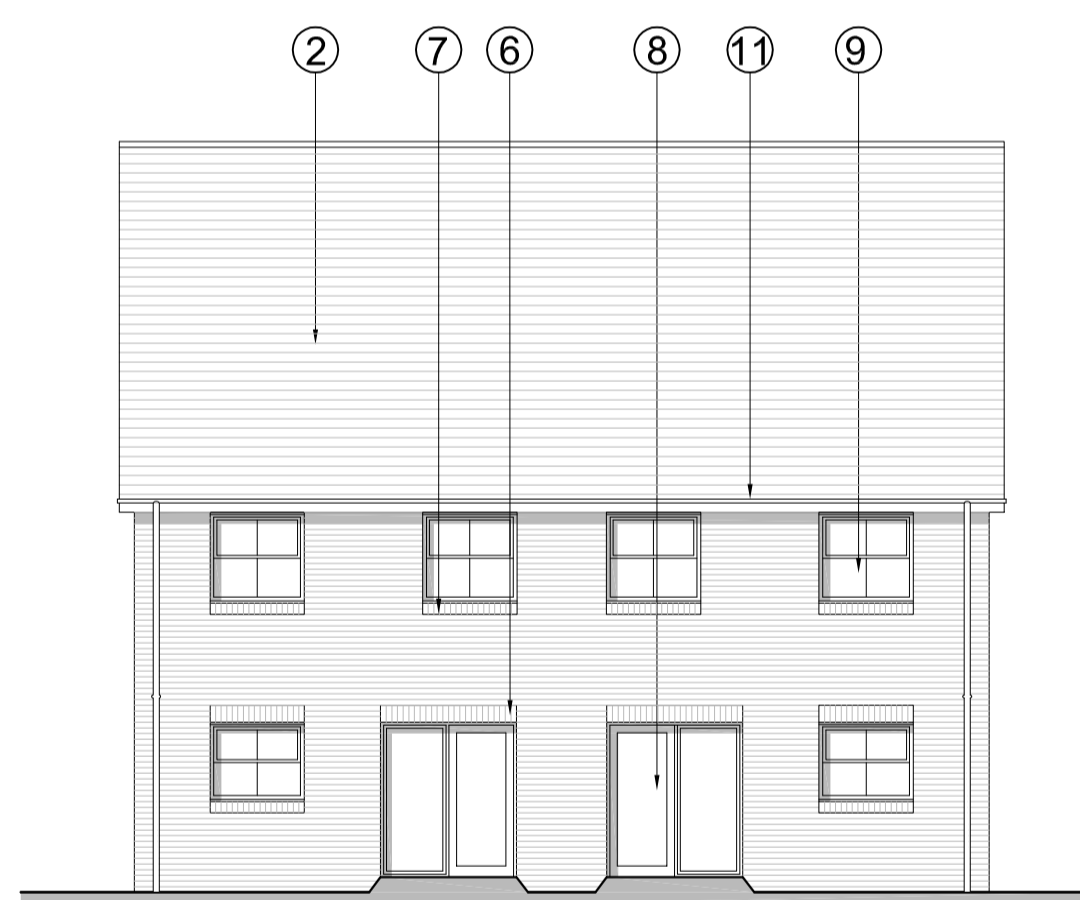
Ground Floor Plan



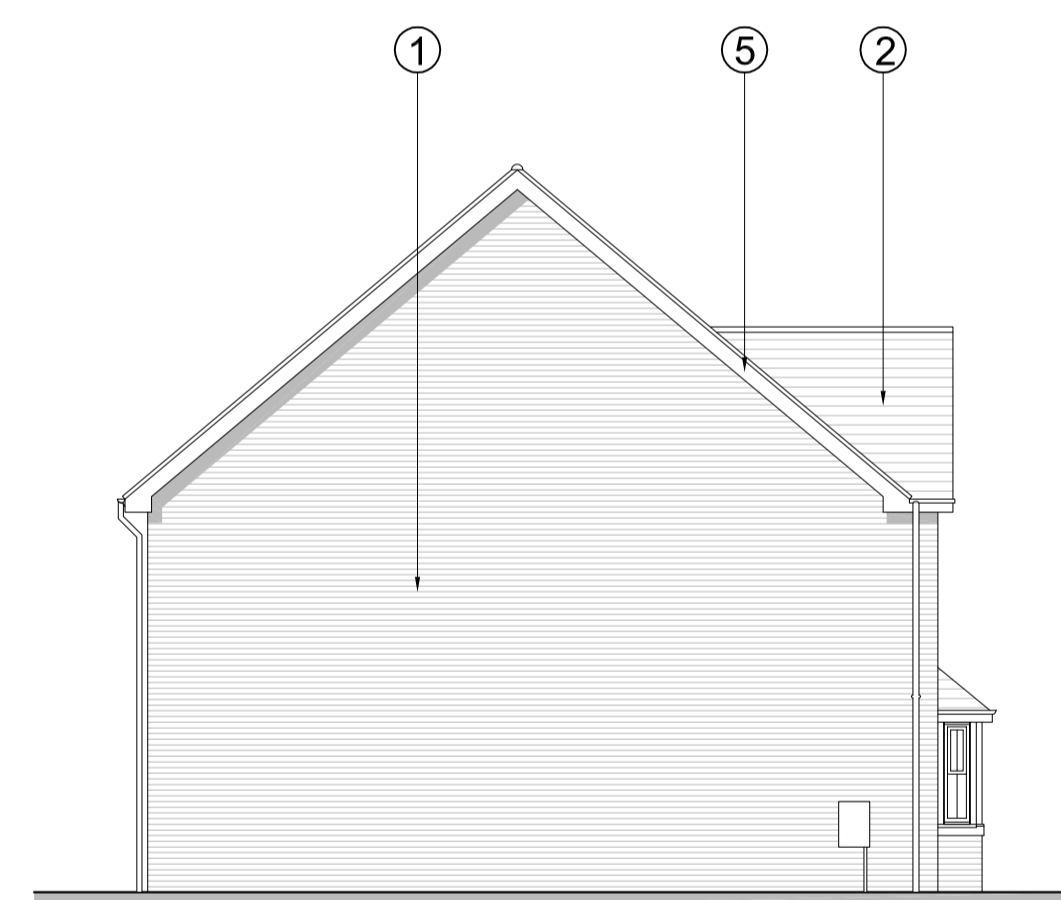
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

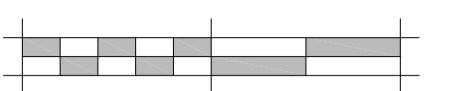
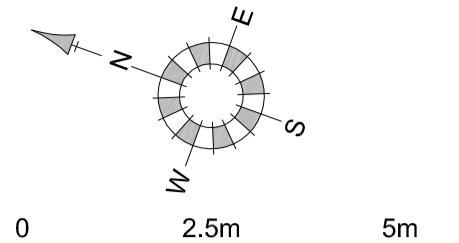
Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑬ Dummy windows
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added									
B	29.09.2015	Materials enhanced									
C	30.09.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

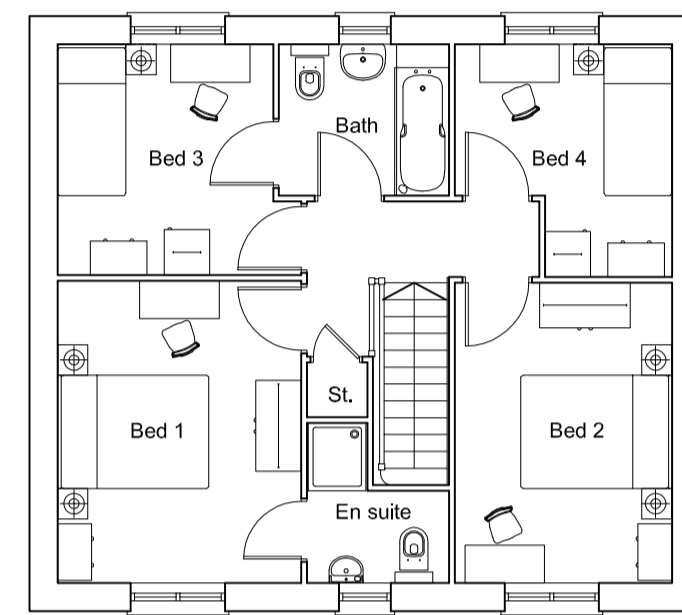
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 28 - 29, 32 - 33 Floor Plans and Elevations (3BA)
DRAWN:	99	15069	P117
DATE:	Sep.15		F

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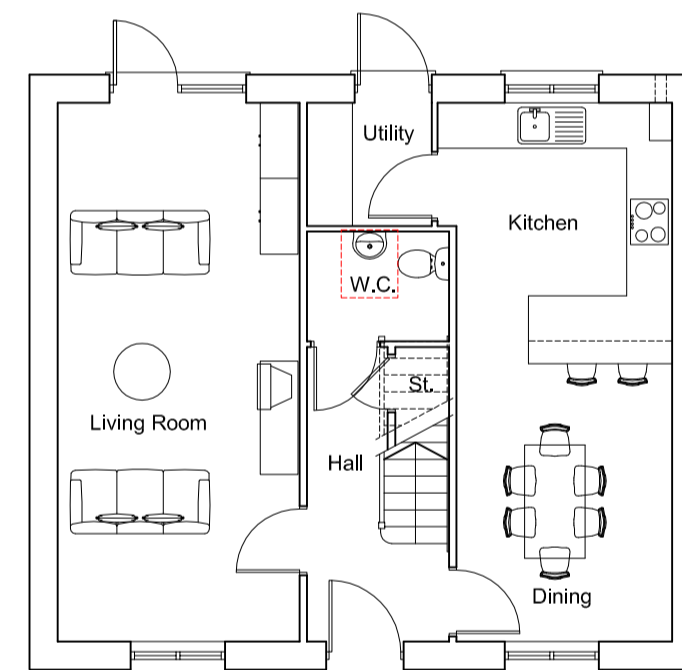
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



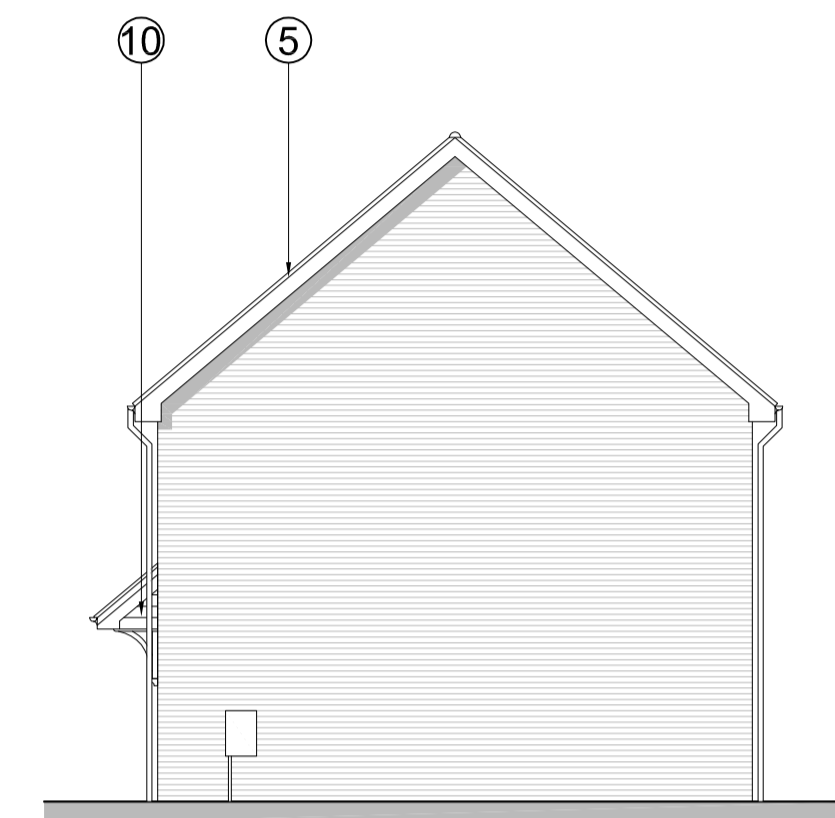
First Floor Plan



Ground Floor Plan



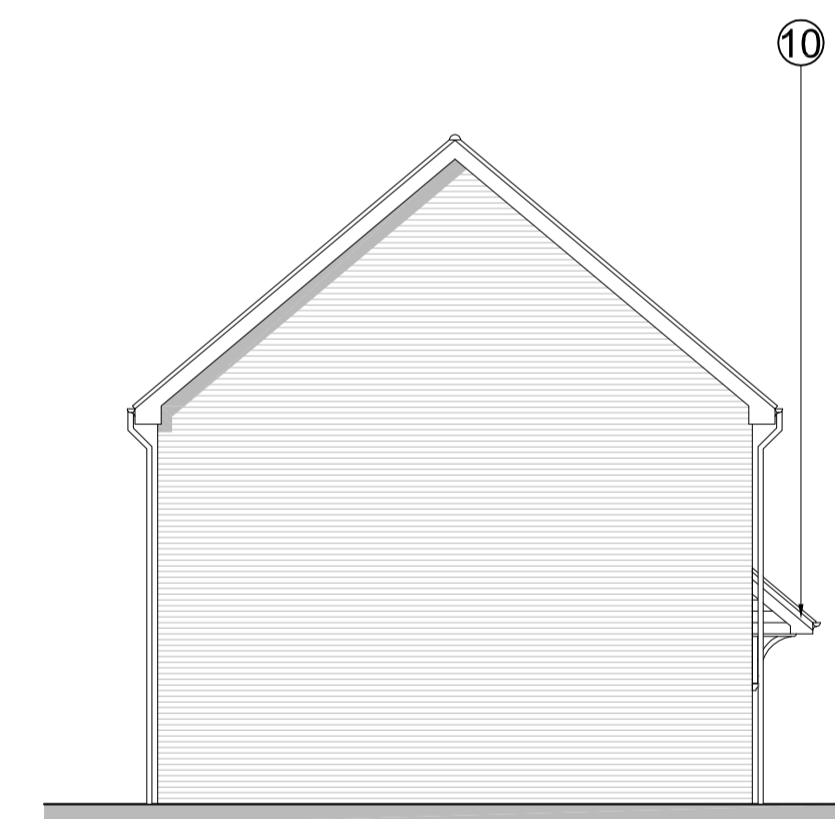
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added									
B	23.03.2015	Materials enhanced									
C	30.03.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 30 & 31 Floor Plans and Elevations (4BB)
DRAWN:	gg	15069	P118
DATE:	Sep.15		F

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